

TO: HONORABLE CHAIRMAN AND PLANNING COMMISSION
FROM: RON WHISENAND, COMMUNITY DEVELOPMENT DIRECTOR
SUBJECT: TENTATIVE PARCEL MAP PR 06-0236, AT 2225 PARK STREET
(APPLICANT: LEGACY PARK PARTNERS, LLC)
DATE: FEBRUARY 27, 2007

Needs: For the Planning Commission to consider a Parcel Map application filed by Craig R. Smith Architects, on behalf of Legacy Park Partners, LLC, to subdivide a 12,585 square foot parcel into four parcels.

- Facts:
1. The site is located at 2225 Park Street (see attached Vicinity Map).
 2. The General Plan land use designation for the site is RMF-12 (Residential Multi-Family, 12 units per acre). The Zoning designation is R3 (Medium Density Multi-Family Residential).
 3. Based on the site being 12,585 square feet within Blocks 1 -196 (the original subdivision of the City), Section 21.16I.060 of the Zoning Code would allow the proposed four dwelling units for this R-3 Zoned lot.
 4. The General Plan Land Use Element describes one of the 6 purposes of the RMF-12 Land Use Category as follows:

To provide multi-family residential neighborhoods consisting of buildings with less than four dwelling units (including single detached units) when the following criteria can be met:
 - a. *provide an innovative site and building design that promotes architectural and design excellence;*
 - b. *provide a density as close to 12 dwelling units per acre as possible;*
 - c. *provide multi-family type design features such as common outdoor areas, courtyards and recreation areas;*
 5. The site is currently vacant with multiple non-oak trees.
 6. Along with the tentative map, the applicants have provided architectural plans for the four houses.

7. The Development Review Committee (DRC) reviewed the subdivision at their meeting on January 8, 2007. Peter Danciart along with Craig Smith presented the parcel map along with the site plans and elevations for the proposed units. They explained that the goal of the design concept for the units is to accomplish a more sustainable project. Some of the sustainable components include solar heating, natural light & shading, solar panels and grey water storage.
8. The DRC had concerns with the architecture of the four homes; The Committee did not feel that the proposed architecture fit in with the character of this area of town. The Committee did not take action on the project and suggested that the project go forward for review and discussion by the full Commission.
9. The site is not located within the West Side Historic Guidelines area.
10. This application is Categorically Exempt from environmental review per Section 15303 of the State's Guidelines to Implement the California Environmental Quality Act (CEQA).

Analysis
and

Conclusion:

The proposed project would create a four-lot subdivision, where a new single family residence would be constructed on each lot. The two homes oriented towards the front of the site will be accessed from Oak Street. The two rear units would be accessed from the alley. A common pathway/sidewalk will allow for pedestrian access to the front doors of each unit from Park Street.

Each house would have a two-car garage. The front houses would be setback 20-feet which would provide overflow or guest parking in front of the garage door. The rear units would have a 5-foot setback to the garage door, with a visitor parking space provided on the side yard for each unit.

The proposed subdivision would meet the General Plan policy of providing for the development of housing in close proximity to schools, shopping and other services, including public transit. In addition, the proposed project supports the General Plan land use designation of RMF-12, and implements Policy LU-2I, Infill, which states, "*Encourage infill development as a means of accommodating growth, while preserving open space areas, reducing vehicle miles traveled, and enhancing livability/quality of life. Infill includes: Residential infill in/near established neighborhoods.*"

The question for the Planning Commission to consider is whether the project would meet the General Plan policy of providing an innovative site and building design that promotes architectural and design excellence. In addition, the Commission should decide whether the design is compatible with other dwellings in the neighborhood which range in character.

Policy

Reference: General Plan, Zoning Ordinance

Fiscal

Impact: The three parcels that is the incremental increase in land use intensity would be required to join the City Services Community Facilities District to offset the impacts on Police, Fire and other City Services.

Options: After consideration of public testimony, the Planning Commission will be asked to consider the actions listed below:

- A. Adopt the attached Resolution, approving PR 06-0236, subject to standard and site specific development conditions; or
- B. Amend, modify, or alter the foregoing options.

Prepared by:

Darren Nash
Associate Planner

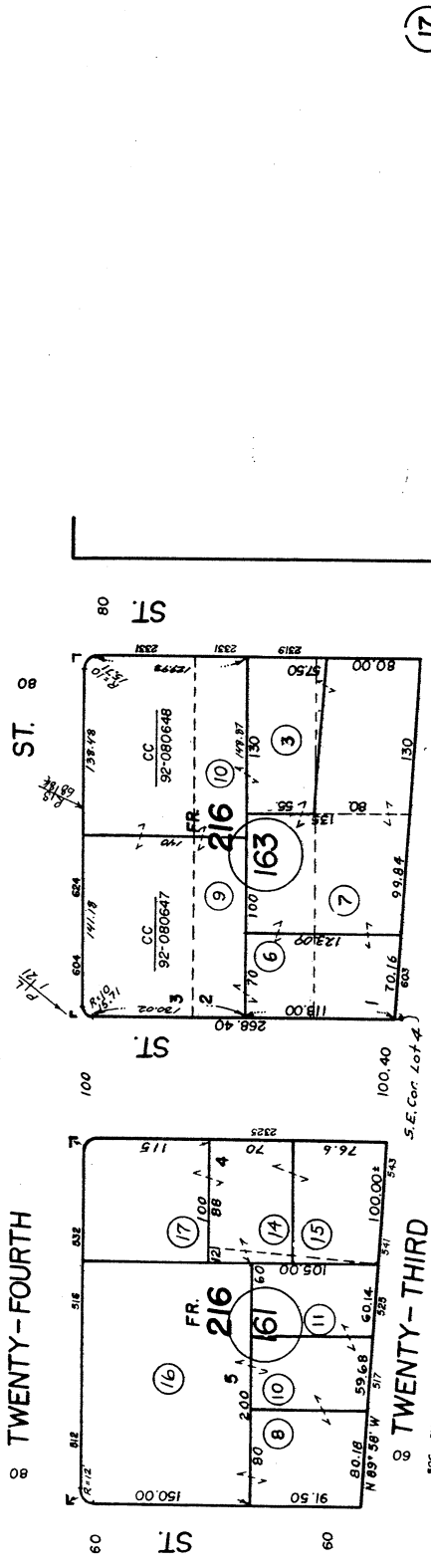
Attachments:

1. Vicinity Map
2. Applicants Project Description
3. Applicant's Design Concept Memo
4. Memo from City Engineer
5. Resolution to Approve PR 06-0236
6. Newspaper and Mail Notice Affidavits

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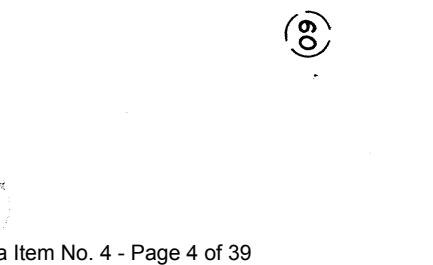


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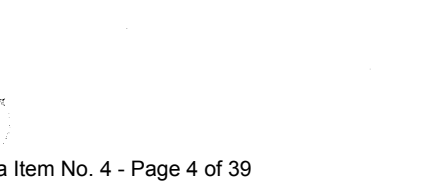
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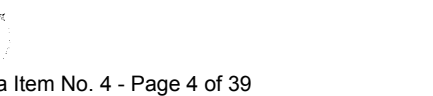
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REVISIONS	
TECH	DATE

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THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

12-11-01

CITY OF PASO ROBLES
 ASSESSOR'S MAP
 SAN LUIS OBISPO, CA.
 BOOK 008 PAGE 13

Vicinity Map
 PR 06-0236
 (Legacy Partners, LLC)



890 Monterey Street, Suite D, San Luis Obispo CA 93401 • ph: 805.544.3380 • fax: 805.544.8625 • email: peterd@craigsmithaia.com

Memo

Paso Robles

OCT 25 2006

Planning Division

DATE: 10.19.06

TO: City of Paso Robles

FROM: Peter Danciar

RE: **Project Description** for 2225 Park Street, APN: 008-165-009

The proposed development is a lot subdivision into four parcels, each with a new two story, single-family residence with attached garage. Two units will have vehicular access from Park Street while the other two units will have vehicular access off the alley. There will be a landscaped twelve-foot public access easement for the project. There are five large non-Oak species trees on the site that will be removed, along with five smaller non-Oak species trees along the northern fence line that will be removed. A total of seven drought resistant trees will be planted in the public access easement and the private yards. A new sidewalk and parkway planter will be installed per City of Paso Robles standards.

Sincerely,

Craig R. Smith AIA, Architect & Associates

Peter Danciar
Associate Designer



890 Monterey Street, Suite D, San Luis Obispo CA 93401 • ph: 805.544.3380 • fax: 805.544.8625 •
email: peterd@craigsmithaia.com

PARK STREET DESIGN CONCEPT

DESIGN CRITERIA ARE BASED ON A SITE SPECIFIC SOLUTION

CLIENT'S PROGRAM: The number of units, the square footage of units and the bedroom/bathroom count are based on the marketability of the project.

ZONING: Conforms to Zoning Ordinances, worked closely with Planning Department to develop a conforming design.

SUSTAINABLE COMPONENTS: The buildings were organized in plan and in elevation to allow each unit to have a southern exposure to accomplish a more sustainable solution. The following are contributing elements:

- Adequate **natural day lighting** and **passive solar heating**; stepping of southern unit's roofs.
- **Natural Stack Ventilation**; to allow heat to rise and escape the building at the stair well.
- **Solar shading devices** at windows; to minimize direct solar gain during the summer season.
- **Photovoltaic Panels** (solar electric panels) with grid intertie; to reduce electrical consumption.
- Domestic **Solar Hot Water Collectors**; to reduce natural gas consumption.
- **Grey Water Storage**; partial grey water retention to be reused for landscape irrigation to reduce water consumption.

MATERIALS: Similar materials for were used for each materials unit but used in different ways to break up the massing of the buildings. Concrete masonry units were implemented for structural as well as thermal mass reasons.

COLORS: Implemented an earth tone palette to give the complex a "warm" natural look while harmonizing with the landscape.

LANDSCAPE: Used a native, drought tolerant palette to reduce water consumption as well as to create a regionally based project.

MEMORANDUM

TO: Darren Nash
FROM: John Falkenstien
SUBJECT: PR 06-0236, Legacy
DATE: February 27, 2007

Streets

The subject property is located on the west side of Park Street between 22nd and 23rd Streets. Park Street is classified as a local street in the Circulation Element of the General Plan.

Street improvements will be required on Park Street in accordance with Westside City Standard A-12. The existing alley will need to be improved along the property frontage and extended to 23rd Street.

Water and Fire Protection

A 4-inch water line serves the property on Park Street. This area does not have standard fire protection facilities available. The nearest fire hydrants with adequate flows are located on 21st Street. The water master plan includes an extensive water main project that will provide fire protection to the area. The applicant will contribute to this project through water connection fees.

The Emergency Services Department will determine mitigation measures needed in order to issue building permits.

Sewer

There is a 12-inch sewer line located in the alley adjacent to the property.

Recommended Site Specific Conditions

1. Prior to occupancy of a building permit on any parcel; curb, gutter, sidewalk and paving shall be constructed on Park Street in accordance with City Standard A-12 and plans approved by the City Engineer.
2. Prior to occupancy of a building permit on any parcel; alley paving shall be constructed in accordance with City Alley Standard A-17 from the south boundary of the property to 23rd Street, along with improvement of the existing alley approach at 23rd Street.
3. Individual water and sewer services shall be provided to each parcel. The final parcel map shall include all utility easements necessary, including easements for water and sewer services to each parcel. A minimum five-foot access easement shall be provided over Parcels 1 and 2 for the benefit of Parcels 3 and 4.
4. Prior to final map approval, the applicant shall enter into an agreement not to protest the formation of an assessment district to underground existing overhead public utilities in the block.

RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
TO GRANT TENTATIVE MAP APPROVAL FOR
PARCEL MAP PR 06-0236
(LEGACY PARTNERS, LLC)
APN: 008-165-009

WHEREAS, Parcel Map PR 06-0236, an application filed by Craig R. Smith Architects, on behalf of Legacy Park Partners, LLC to subdivide a 12,585 square foot lot into four parcels; and

WHEREAS, the site is located at 2225 Park Street; and

WHEREAS, the subject site is located in the Residential Multi-Family (RMF-12) land use category and the R3 zoning district; and

WHEREAS, as a result of the parcel map, Parcels 1 & 2 would be 3,400 square feet and Parcels 3&4 would be 2,800 square feet; and

WHEREAS, the proposed parcel map is Categorically Exempt from environmental review per Section 15315 of the State's Guidelines to Implement the California Environmental Quality Act (CEQA); and

WHEREAS, a public hearing was conducted by the Planning Commission on February 27, 2007, to consider facts as presented in the staff report prepared for the tentative parcel map, and to accept public testimony regarding the application; and

WHEREAS, based upon the facts and analysis presented in the staff report, public testimony received and subject to the conditions listed below, the Planning Commission makes the following findings as required by Government Code Sections 66474 and 65457:

1. The proposed tentative parcel map is consistent with the adopted General Plan for the City of El Paso de Robles in that it provides for infill development within close proximity to schools, shopping and other services;
2. As conditioned the design of lots, streets, open space, drainage, sewers, water and other improvements is consistent with the General Plan and Zoning Ordinance;
3. The site is physically suitable for the type of development proposed as demonstrated with the proposed building foot prints of the four homes;
4. The design of the land division is not likely to cause substantial environmental damage or substantially and unavoidably injure fish or wildlife or their habitat;

5. The design of the land division and types of improvements proposed are not likely to cause serious public health problems;
6. The design of the land division and the type of improvements proposed will not conflict with easements acquired by the public at large, for access through or use of, property within the proposed subdivision;
7. The fulfillment of the requirements listed in conditions No. 6&7 are necessary prerequisite to the orderly development of the site and surrounding area.
8. The proposed project provides for an innovative site and the homes proposed to be constructed on the four parcels are designed in a manner that promotes architectural and design excellence.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles, does hereby grant tentative map approval for Parcel Map PR 06-0236 subject to the following conditions of approval:

STANDARD CONDITIONS OF APPROVAL:

1. The applicant/developer shall comply with those standard conditions which are indicated as applicable in "Exhibit A" to this resolution.

SITE SPECIFIC CONDITIONS OF APPROVAL:

NOTE: In the event of conflict or duplication between standard and site specific conditions, the site specific condition shall supersede the standard condition.

PLANNING

2. The project shall be constructed so as to substantially conform with the following listed exhibit and conditions established by this resolution:

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
A	Standard Conditions of Approval
B	Title Sheet
C	Tentative Parcel Map PR 06-0236
D	Site and Utility Plan
E	Grading Plan
F	Landscape Plan
G	Unit A Floor Plan
H	Unit A Roof Plan

I	Unit A Exterior Elevations
J	Unit B Floor Plan
K	Unit B Roof Plan
L	Unit B Exterior Elevations
M	Unit C Floor Plan
N	Unit C Roof Plan
O	Unit C Exterior Elevations
P	Unit D Floor Plan
Q	Unit D Roof Plan
R	Unit D Exterior Elevations

3. PR 06-0236 would allow the subdivision of the existing 12,585 square foot lot into four lots where Parcels 1 and 2 would be 3,460 square feet and Parcel 3 and 4 would be 2,830 square feet.
4. Pursuant to submittal requirements and Standard Condition B-1 of Attachment A, prior to occupancy the applicant shall provide on a 3.5 inch disk or IBM-compatible CD a copy of all signed and stamped approved plans, exhibits, resolutions, and all submittal materials and other documentation pertaining to approval of this application for electronic archiving. The applicant may elect to have the City send out the documents for scanning at the applicant's expense.
5. The applicant shall take the steps necessary to annex to or form a City Community Facilities District (CFD) in order to provide funding for City services for each new parcel or dwelling unit in the proposed development. The agreement to form or annex to a CFD shall be in a manner to be approved by the City Attorney. Participation in a City CFD for services is intended to fully mitigate the incremental impact of new residential development on City services and maintain such services at the standards established in the General Plan.

If for any reason, applicant does not take the necessary steps to have the development included within a CFD, applicant shall, in a manner subject to approval by the City Council and City Attorney, provide for alternative means of fiscal mitigation at a level equal to the special taxes established in the Rate and Method of Apportionment applicable to CFD 2005-1, as they may be adjusted from time to time.

For any project resulting in the development of five (5) or more residential units on separate parcels, applicant shall also prepare and record the necessary documents to form a homeowners association (the "HOA") for such development, which HOA shall become active only if and when the CFD is terminated. The HOA documents shall provide that the HOA shall be required to fund the services provided by the CFD, and at the same level established in the Rate and Method of Apportionment for the CFD.

6. Prior to occupancy of a building permit on any parcel; curb, gutter, sidewalk and paving shall be constructed on Park Street in accordance with City Standard A-12 and plans approved by the City Engineer.
7. Prior to occupancy of a building permit on any parcel; alley paving shall be constructed in accordance with City Alley Standard A-17 from the south boundary of the property to 23rd Street, along with improvement of the existing alley approach at 23rd Street.
8. Individual water and sewer services shall be provided to each parcel. The final parcel map shall include all utility easements necessary, including easements for water and sewer services to each parcel. A minimum five-foot access easement shall be provided over Parcels 1 and 2 for the benefit of Parcels 3 and 4.
9. Prior to final map approval, the applicant shall enter into an agreement not to protest the formation of an assessment district to underground existing overhead public utilities in the block.
10. Provide fire sprinklers systems for residential buildings or extend the waterline from 21st Street to meet project fire flow demand.
11. Upgrade existing fire hydrant at intersection of 23rd and Park Street to specifications determined by the City Engineer.
12. Prior to the start of construction, documentation shall be submitted to emergency services showing that the required fire flows can be provided to meet the project demands.
13. A directory or annunciator panel shall be installed at all vehicle entrance areas indicating building locations and numbers.
14. Provide five (5) foot Public Services Access Easement that allows Emergency Services staff access to the rear lot via the front lot.

PASSED AND ADOPTED THIS 27th day of February, 2007 by the following Roll Call Vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

CHAIRMAN, MARGARET HOLSTINE

ATTEST:

RON WHISENAND, SECRETARY OF THE PLANNING COMMISSION

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EXHIBIT A OF RESOLUTION 06-_____

**CITY OF EL PASO DE ROBLES STANDARD DEVELOPMENT CONDITIONS
FOR SINGLE FAMILY RESIDENTIAL TRACT AND PARCEL MAPS**

PROJECT #: Tentative Parcel Map PR 06-0236

APPROVING BODY: Planning Commission

DATE OF APPROVAL: February 27, 2007

APPLICANT: Legacy Partners, LLC

LOCATION: 2225 Park Street

The following conditions that have been checked are standard conditions of approval for the above referenced project. The checked conditions shall be complied with in their entirety before the project can be finalized, unless otherwise specifically indicated. In addition, there may be site specific conditions of approval that apply to this project in the resolution.

COMMUNITY DEVELOPMENT DEPARTMENT - The applicant shall contact the Planning Division, (805) 237-3970, for compliance with the following conditions:

A. GENERAL CONDITIONS

- 1. This project approval shall expire on February 27, 2009 unless a time extension request is filed with the Community Development Department prior to expiration.
- 2. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Planned Development process, development shall comply with the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
- 3. Prior to recordation of the map, all conditions of approval shall be completed to the satisfaction of the City Engineer and Community Developer Director or his designee.
- 4. This project is subject to the California Environmental Quality Act (CEQA), which requires the applicant submit a \$25.00 filing fee for the Notice of Determination payable to "County of San Luis Obispo". The fee should be submitted to the Community Development Department within 24 hours of project approval, which is then forwarded to the San Luis Obispo County Clerk. Please note that the project may be subject to court challenge unless the required fee is paid.
- 5. In accordance with Government Section 66474.9, the subdivider shall defend, indemnify and hold harmless the City, or its agent, officers and employees, from any claim, action or proceeding brought within the time period provided for in Government Code section 66499.37, against the City, or its agents, officers, or employees, to attack, set aside, void, annul the City's approval of this subdivision. The City will promptly notify subdivider of any such claim or action and will cooperate fully in the defense thereof.

(Adopted by Planning Commission Resolution 94-038)

- 6. All signs shall be subject to review and approval as required by Municipal Code Section 21.19 and shall require a separate application and approval prior to installation of any sign.
- 7. All existing and/or new lighting shall be shielded so as to be directed downward in such a manner as to not create off-site glare or adversely impact adjacent properties. The style, location and height of the lighting fixtures shall be submitted with the building plans and subject to approval by the Community Development Department.
- 8. All existing and/or new landscaping shall be installed with automatic irrigation systems.
- 9. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 10. The following areas shall be placed in a Landscape and Lighting District:
- 11. The following areas shall be permanently maintained by the property owner, Homeowners' Association, or other means acceptable to the City:

- 12. The applicant shall install durable, decorative fence/wall treatments and landscaping along all arterial streets consisting of brick, tubular steel with pilasters, or other similar materials as determined by the Development Review Committee, but specifically excluding precision block and wood fences. Substantial setbacks with landscaping may be considered as an alternative, subject to approval by the Development Review Committee.
- 13. The applicant shall provide a one-foot non-access easement along the rear/side of all lots that back up/side against a collector or arterial street.

B. THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF BUILDING PERMITS OR RECORDATION OF THE FINAL MAP, WHICHEVER OCCURS FIRST:

- 1. Two sets of the revised Planning Commission approved plans incorporating all Conditions of Approval, standard and site specific, shall be submitted to the Community Development Department.
- 2. Prior to the issuance of building permits, the
 - Development Review Committee shall approve the following:
 - Planning Division Staff shall approve the following:
 - a. A detailed landscape plan including walls/fencing;
 - b. Other: Architectural Site Plans and Elevations

(Adopted by Planning Commission Resolution 94-038)

- 3. The Covenants, Conditions, and Restrictions (CC&Rs) and/or Articles Affecting Real Property Interests are subject to the review and approval of the Community Development Department, the Public Works Department and/or the City Attorney. They shall be recorded concurrently with the Final Map or prior to the issuance of building permits, whichever occurs first. A recorded copy shall be provided to the affected City Departments.
- 4. The applicant shall agree, in a manner acceptable to the City Attorney, to pay impact mitigation fees as may be established through a resolution or ordinance adopted by the City Council, in effect at the time building permits are issued.
- N/A 5. ~~In order for this tract/parcel map to be in conformance with the General Plan, the lots/parcels of the tract/parcel map shall be annexed into a Community Facilities District (CFD) that serves to mitigate impacts to public schools. Said CFD shall either be a joint City School District CFD or a CFD created by the School District that the City Council has approved. If at the time that the final map is submitted for approval, proceedings to annex the tract/parcel map into a CFD have not been completed, the applicant shall record on all lots/parcels, a waiver of future protest to the formation of a CFD joint City School District CFD or a CFD created by the School Districts that the City Council has approved. This condition shall not be imposed if the developer executes a development agreement with the District to mitigate school impacts.~~
- 6. Street names shall be submitted for review and approval by the Planning Commission, prior to approval of the final map.
- 7. The developer shall provide constructive notice to all buyers that all homes are required to utilize semi-automated trash containers as provided by the City's franchisee for solid waste collection.
- 8. The developer shall provide constructive notice to future buyers that all residential units shall be required to be equipped with trash compactors.
- 9. The applicant shall meet with the City's Crime Prevention Officer prior to the issuance of building permits for recommendations on security measures to be incorporated into the design of the structures to be constructed. The applicant is encouraged to contact the Police Department at (805) 237-6464 prior to plan check submittal.

PUBLIC WORKS DEPARTMENT - The applicant shall contact the Engineering Division, (805) 237-3860, for compliance with the following conditions:

APPLICANT: Legacy
REPRESENTATIVE: Smith
PROJECT: Tentative Parcel Map 06-0236

PREPARED BY: John Falkenstien
CHECKED BY:
TO PLANNING:

C. PRIOR TO ANY PLAN CHECK:

- 1. The applicant shall enter into an Engineering Plan Check and Inspection Services Agreement with the City.

D. PRIOR TO RECORDING OF THE FINAL OR PARCEL MAP:

- 1. The owner shall pay all Final Map fees, and current and outstanding fees for Engineering Plan Check and Construction and Inspection services and any annexation fees due.

- 2. If, at the time of approval of the final/record parcel map, any required public improvements have not been completed and accepted by the City the owner shall be required to enter into a Subdivision Agreement with the City in accordance with the Subdivision Map Act, prior to recordation. The owner shall also be required to post securities to guarantee the installation and completion of said improvements as specified in the Subdivision Map Act and submit a Certificate of Insurance as required by the City. The owner shall also be required to post securities for grading in accordance with Section 7008 of the Uniform Building Code, latest edition. This bond shall be of sufficient amount to ensure completion of the grading and drainage facilities. (A finding of "orderly development" has been made for this condition on parcel maps).

Bonds required and the amount shall be as follows:
Performance Bond.....100% of improvement costs.
Labor and Materials Bond.....50% of performance bond.

- 3. The developer shall annex to the City's Landscape and Lighting District for payment of the operating and maintenance costs of the following:
 - a. Street lights;
 - b. Parkway and open space landscaping;
 - c. Wall maintenance in conjunction with landscaping;
 - d. Graffiti abatement;
 - e. Maintenance of open space areas.

- 4. The owner shall offer to dedicate to the City a 6 foot public utilities and 6 foot tree easement adjacent to all road right-of-ways. The owner shall offer to dedicate to the City the following easement(s). The location and alignment of the easement(s) shall be to the description and satisfaction of the City Engineer:
 - a. Public Utilities Easement;
 - b. Water Line Easement;
 - c. Sewer Facilities Easement;
 - d. Landscape Easement;
 - e. Storm Drain Easement.

(Adopted by Planning Commission Resolution 94-038)

- 5. The subdivider shall offer to dedicate and improve the following street(s) to the standard indicated:

Street Name	City Standard	Standard Drawing No.
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- 6. Landscape and irrigation plans for the public right-of-way shall be incorporated into the improvement plans and shall require a signature of approval by the Department of Public Works, Street Superintendent and the Community Development Department.
- 7. All improvement plans shall be prepared by a registered civil engineer and shall be submitted to the City Engineer for review and approval. The improvements shall be designed and placed to Public Works Department Standards and Specifications.
- 8. Prior to any site work a Preliminary Soils Report shall be prepared for the property to determine the presence of expansive soils or other soils problems and shall make recommendations regarding grading of the proposed site.
- 9. The applicant shall submit a composite utility plan signed as approved by a representative of each public utility, together with the improvement plans. The composite utility plan shall also be signed by the Water, Fire, Wastewater and Street Division Managers.
- 10. A complete grading and drainage plan prepared by a registered civil engineer shall be included with the improvement plans. Drainage calculations shall be submitted, with provisions made for on-site detention/ retention if adequate disposal facilities are not available, as determined by the City Engineer.
- 11. The owner shall provide an additional map sheet to record concurrently with the final map or parcel map showing the lot configuration, and the area subject to inundation by the 100 year storm with base flood elevations shown in feet, in relation to the National Geodetic Vertical Datum of 1929.
- 12. The owner shall install all utilities (sewer, water, gas, electricity, cable TV, and telephone) underground to each lot in the subdivision. Street lights shall be installed at locations as required by the City Engineer. All existing overhead utilities adjacent to or within the project shall be relocated underground, except for electrical lines 77 kilovolts or greater. All utilities shall be extended to the boundaries of the project, unless it is determined that no need for future extension exists. All underground construction shall be completed and approved by the City and the public utility companies, and the subgrade shall be scarified and compacted, before paving the streets.
- 13. Any utility trenching in existing streets shall be overlaid to restore a smooth riding surface as required by the City Engineer. Boring and jacking rather than trenching may be required on newly constructed or heavily traveled City Streets.
- 14. Prior to paving any street, the water and sewer systems shall successfully pass a City pressure test. The sewer system shall also be tested by a means of a mandrel and video inspection with a copy of the video tape provided to the City. No paving shall occur until the City has reviewed and viewed the sewer video tape and has determined that the sewerline is acceptable. Any repair costs to the pipeline including trench paving restoration shall be at the developer's expense.
- 15. The owner shall install all street name, traffic signs and traffic striping as directed by the City Engineer.

(Adopted by Planning Commission Resolution 94-038)

- 16. The adjoining existing City street is inadequate for the traffic generated by the project, or will be severely damaged by the construction. The applicant shall remove the entire roadway and replace it with a minimum full half-width street plus a 12' wide travel lane and 8' wide base shoulder adequate to provide for two-way traffic. (A finding of "rough proportionality" has been made in the resolution for this condition.)
- 17. The development includes a phased street construction along the project boundary for future completion by the adjacent property owner, the applicant shall provide a minimum half-width street plus a 12' travel lane and 4' wide base shoulder adequate for two-way traffic. (A finding of "rough proportionality" has been made in the resolution for this condition.)
- 18. The project fronts on an existing street. The applicant shall pave-out from the proposed gutter to the edge of pavement if the existing pavement section is adequate, and shall feather the new paving out to the centerline for a smooth transition. If the existing pavement, structural sections or geometrics are inadequate per current City Standards, the roadway shall be replaced to centerline and the remaining pavement shall be overlaid. (A finding of "rough proportionality" has been made in the resolution for this condition.)

E. PRIOR TO ANY SITE WORK:

- 1. The applicant shall obtain a Grading Permit from the City Building Division.
- 2. Prior to issuance of a Grading Permit the developer shall apply, through the City, to FEMA and receive a Letter of Map Amendment (LOMA) issued from FEMA. The developer's engineer shall provide the required supporting data to justify the application.
- 3. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No. 553, Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to its removal.
- 4. All property corners shall be staked for construction control, and shall be promptly replaced if destroyed.
- 5. Any grading anticipated during the rainy season (October 15 to April 15) will require the approval of a construction zone drainage and erosion control plan to prevent damage to adjacent property. Appropriateness of areas shall be subject to City Engineer approval.
- 6. Any construction within an existing street shall require a traffic control plan. The plan shall include any necessary detours, flagging, signing, or road closures requested. Said plan shall be prepared and signed by a registered civil or traffic engineer.

F. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

(Adopted by Planning Commission Resolution 94-038)

- 1. A final soils report shall be submitted to the City prior to the final inspection and shall certify that all grading was inspected and approved, and that all work has been done in accordance with the plans, preliminary report, and Chapter 70 of the Uniform Building Code.
- 2. The applicants civil and soils engineer shall submit a certification that the rough grading work has been completed in substantial conformance to the approved plans and permit.
- 3. Building permits shall not be issued until the water system has been completed and approved, and a based access road installed sufficient to support the City's fire trucks, in a manner approved by the Fire Chief.
- 4. Prior to issuance of a Building Permit for building within Flood Insurance Rate Map (FIRM) zones A1-A30, AE, AO, AH, A, V1-V30, VE and V, the developer shall provide an Elevation Certificate in accordance with the National Flood Insurance program. This form must be completed by a land surveyor, engineer or architect licensed in the State of California.
- 5. Prior to issuance of a Building Permit for building within Flood Insurance Rate Map (FIRM) zones A1-A30, AE, AO, AH, A, V1-V30, VE and V, the developer shall provide a Flood Proofing Certificate in accordance with the National Flood Insurance program. This form must be completed by a land surveyor, engineer or architect licensed in the State of California.

G. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY:

- 1. All final property corners and street monuments shall be installed before acceptance of the public improvements.
- 2. No buildings shall be occupied until all public improvements are completed and approved by the City Engineer, and accepted by the City Council for maintenance.
- 3. All disturbed areas not slated for development shall be protected against erosion in a manner acceptable to the City Engineer, which may include hydroseeding or landscaping.
- 4. The applicant shall pay any current and outstanding fees for Engineering Plan Checking and Construction Inspection Services and any outstanding annexation fees.
- 5. All top soil removed shall be stockpiled and evenly distributed over the slopes and lots upon completion of rough grading to support hydroseeding and landscaping. All slope areas shall be protected against erosion by hydroseeding or landscaping.
- 6. All construction refuse shall be separated (i.e. concrete, asphalt concrete, wood, gypsum board, etc.) and removed from the project to a recycling facility in accordance with the City's Source Reduction and Recycling Element.
- 7. If any of the public improvements or conditions of approval are not completed or met, then the subdivider may, at the discretion of the City Engineer, enter into a Performance Agreement with the City to complete said improvements at a later date and post securities to cover the cost of the improvements. The form of the agreement and amount of the securities are subject to the approval of the City Engineer.
- 8. A blackline clear Mylar (0.4 MIL) copy and two (2) blue-line prints of as-built improvement plans, signed by the engineer of record, shall be provided to the City Engineer prior to the final inspection.

(Adopted by Planning Commission Resolution 94-038)

A reduced copy (i.e. 1" = 100') of the composite utility plan shall be provided to update the City's Atlas Map.

- 9. A benchmark shall be placed for vertical control on the U.S.G.S. Datum as required by the City Engineer.

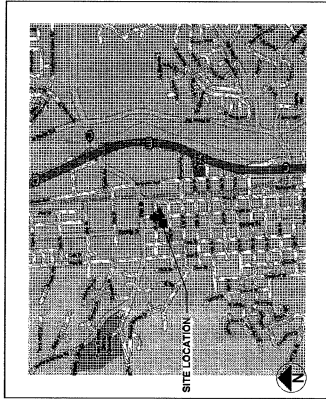
PASO ROBLES FIRE DEPARTMENT - The applicant shall contact the Fire Department, (805) 237-3973, for compliance with the following conditions:

H. GENERAL CONDITIONS

- 1. Fire hydrants shall be installed at intervals as required by the Fire Chief and City Engineer. The maximum spacing for single family residential shall be 500 feet. The maximum spacing for multi-family and commercial/residential shall be 300 feet. On-site hydrants shall be placed as required by the Fire Chief.
- 2. Building permits shall not be issued until the water system, including hydrants, has been tested and accepted and a based access road installed sufficient to support the City's fire apparatus (HS-20 truck loading). The access road shall be kept clear to a minimum of 24 feet at all times and shall be extended to each lot and shall be maintained to provide all weather driving conditions.
- 3. No buildings shall be occupied until all improvements are completed and accepted by the City for maintenance.
- 4. If the development includes phased street construction, temporary turn-arounds shall be provided for streets that exceed 150 feet in length. The temporary turn around shall meet City requirements as set forth in the Public Works Department Standards and Specifications.
- 5. All open space areas to be dedicated to the City shall be inspected by the Fire Department prior to acceptance. A report shall be submitted recommending action needed for debris, brush and weed removal and tree trimming. The developer shall clean out all debris, dead limbs and trash from areas to be recorded as open space prior to acceptance into a Benefit Maintenance District.
- 6. Any open space included in a private development shall be subject to the approval of a vegetation management plan approved by the Fire Chief.
- 7. Each tract or phase shall provide two sources of water and two points of access unless otherwise determined by the Fire Chief and Public Works Director.
- 8. Provisions shall be made to update the Fire Department Run Book.

(Adopted by Planning Commission Resolution 94-038)

VICINITY MAP:



PROJECT SUMMARY:

DWELLING UNITS: FOUR DWELLING UNITS,
THREE BEDROOMS PER UNIT.

PARKING:

LOTS 1 & 2: TWO SPACES IN GARAGE, TWO
SPACES IN DRIVEWAY, TWO SPACES IN GARAGE, ONE
SPACE ADJACENT TO GARAGE.

FLOOD ZONE:

THIS PROJECT IS LOCATED IN A ZONE B FLOOD AREA.
THIS DETERMINATION WAS MADE IN ACCORDANCE TO
THE FEMA FLOOD REFERENCE MAPS, WHICH ARE AVAILABLE AT
THE CITY OF PASO ROBLES PUBLIC WORKS
DEPARTMENT. PER THE FEMA REQUIREMENTS, THE
FINISH FLOOR ELEVATIONS ARE TO BE A MINIMUM 12"
ABOVE THE 100 YEAR MEAN FLOOD LEVEL. THE
FLOOR ELEVATIONS ARE AT LEAST 12" HIGHER THAN
THE HIGHEST ADJACENT VERTICAL ELEVATION FOR
THIS COMPLIANCE REQUIREMENT.

LIGHTING:

ALL PROPOSED EXTERIOR LIGHTING SHALL
BE LOW WATTAGE & FULLY SHIELDED.

LEGAL DESCRIPTION:

BEING A SUBDIVISION OF LOT 03 AND A
PORTION OF LOT 02 IN BLOCK 177 AS SHOWN
ON MAP FILED IN BOOK 08 AT PAGE 169 IN THE
OFFICE OF THE COUNTY RECORDER IN THE
CITY OF PASO ROBLES, COUNTY OF SAN LUIS
OBISPO, CALIFORNIA.

BENCH MARK:

THE BASIS OF ELEVATIONS USED FOR THIS
SURVEY IS THE TOP OF A 1 1/4" BRASS CAP
IN MONUMENT WELL AT THE CENTERLINE
INTERSECTION OF 23RD AND PARK STREETS;
THAT ELEVATION BEING 99.13' (ASSUMED
DATUM)

TRACT AREA = 0.289 ACRES

OWNER:

LEGACY PARTNERS, LLC
C/O SPINNER FINANCIAL
115 GIBSON ROAD
TEMPLETON, CA 93465

CRAIG R. SMITH ARCHITECT & ASSOCIATES		CONSULTING ARCHITECT	
890 MONTEREY ST. SUITE D SAN LUIS OBISPO, CA 93901		REG 544-3380	
		P.A. NO. 03861	
PARK STREET PROJECT			
2225 PARK STREET			
CITY OF PASO ROBLES, CALIFORNIA			
SCALE: 1" = 10'-0"	ACCEPTED BY:	DATE:	SHEET NO.
DESIGNED BY: PWD	OF SHEETS		
DRAWN BY: MBL	CITY ENGINEER:		
CHECKED BY: CRS	PASS REGISTER CALIF.		
RECORD DWG:			

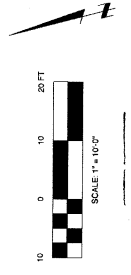
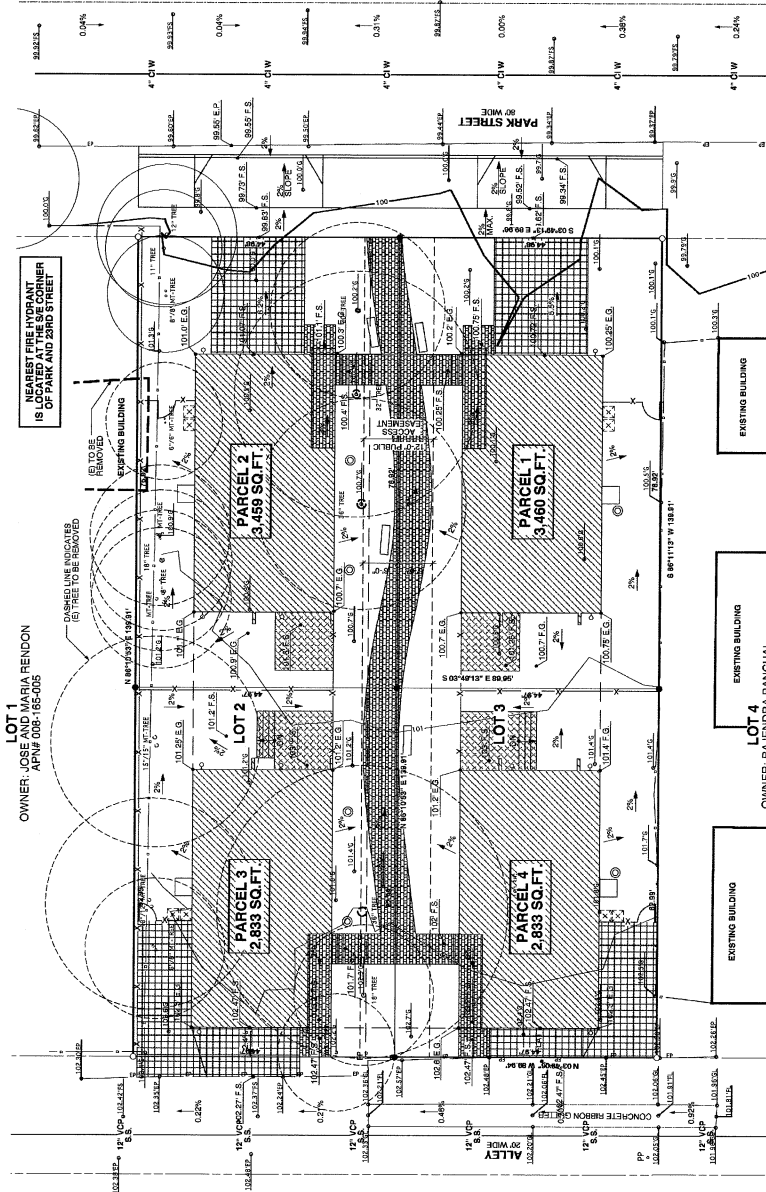


Exhibit C
Tentative Parcel Map
PR 06-0236
(Legacy Partners, LLC)

GRADING LEGEND:

- 000' FINISH TOPOGRAPHICAL CONTOUR
- 000' FINISH TOPOGRAPHICAL CONTOUR
- 000' FINISH SPOT GRADE ELEVATION
- 000' FINISH FLOOR
- F.F. FINISH SURFACE
- F.S. FINISH GRADE
- F.G. FINISH GRADE
- T.O.C. TOP OF CURB
- T.O.F. TOP OF FOOTING
- T.O.D. TOP OF DRIVE
- T.O.CAN. TOP OF CONCRETE
- T.O.R. TOP OF RAIL
- T.O.W. TOP OF WALL

GRADING NOTES:

1. MAX. SLOPE IS 2:1 AT ALL CUT AND FILL AREAS.
2. NO GRADING SHALL BE DONE WITHIN 2' OF PROPERTY LINES.
3. FOUNDATION IS REQUIRED AND SHALL DRAIN TOWARD A PUBLIC STREET OR ALLEY. THE DRAINAGE SHALL BE TO THE STREET OR ALLEY AT A MINIMUM 1% SLOPE, 1% WITH PROPER APPROVAL FROM THE COUNTY ENGINEER.
4. GRADING SHALL CONFORM TO ALL CITY OF PASO ROBLES ORDINANCES.
5. WORK IN THE PUBLIC ROW REQUIRES AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT.
6. SIDEYARD IMPROVEMENTS SHALL NOT OBSTRUCT DRAINAGE.
7. CONCENTRATED DRAINAGE SHALL NOT DRAIN OVER SIDEYARDS.
8. AS REQUIRED, PROVIDE MINIMUM 18" UNDER FLOOR CLEARANCE TO GRADE AT REAR TO FOUNDATION DETAILS.
9. CONCENTRATED DRAINAGE SHALL BE LIMITED TO 750 AFY @ 3-30 P.M.
10. IN THE EVENT OF DISCONTINUING ANY SUBSURFACE ARCHAEOLOGICAL INVESTIGATION, THE CONTRACTOR SHALL IMMEDIATELY CALL THE COUNTY ENGINEER AND COUNTY PLANNING DEPARTMENT IMMEDIATELY. CALL: COUNTY ARCHITECT & COUNTY PLANNING DEPARTMENT.
11. CONSTRUCTION A GRADING ACTIVITIES SHALL BE LIMITED TO 750 AFY @ 3-30 P.M.
12. GRADING EXPORT DISPOSAL SITE SHALL BE IDENTIFIED & ALL APPROVALS OBTAINED PRIOR TO FINAL MAP RECONSTRUCTION.
13. SIDEYARD AND PLANTING AREAS.
14. APPROVED DRAINAGE AT REAR OF RETAINING WALLS SHALL BE TIED INTO SITE DRAINAGE.
15. ALL GRADING SHALL BE EXECUTED IN STRICT ACCORDANCE WITH THE GEOTECHNICAL RECOMMENDATIONS SET FORTH IN THE SOILS REPORT PREPARED BY BUENA VISTA ENGINEERING AND ARCHITECTURE, INC. (BVEA).
16. RECONSTRUCTION OF THE EXISTING CONCRETE DRIVEWAY SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S APPROVAL.
17. THE EXISTING TOPSOIL SHALL BE REMOVED FROM THE AREA TO BE GRADED. EXISTING TOPSOIL SHALL BE STORED IN A SECURE LOCATION AND PROTECTED FROM EROSION. EXISTING TOPSOIL SHALL BE REAPPLIED TO THE EXISTING DRIVEWAY AND SIDEYARD AREAS. EXISTING TOPSOIL SHALL BE REAPPLIED TO THE EXISTING DRIVEWAY AND SIDEYARD AREAS. EXISTING TOPSOIL SHALL BE REAPPLIED TO THE EXISTING DRIVEWAY AND SIDEYARD AREAS.
18. WHERE FILL IS TO BE PLACED ON AREAS THAT SLOPE MORE THAN 10%, THE FILL SHALL BE PLACED IN ACCORDANCE WITH THE SOILS REPORT.
19. THE CONTOUR AND SHAPES OF FINISHED SURFACES SHALL BE BLENDING WITH SMOOTH TRANSITIONS.
20. DURING GRADING AND UNTIL LANDSCAPING IS ESTABLISHED, DUST SHALL BE CONTROLLED BY WATERING. DUST SHALL BE CONTROLLED BY WATERING. DUST SHALL BE CONTROLLED BY WATERING.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTY AND NO PERSON SHALL EXCAVATE OR DISTURB ANY ADJACENT PROPERTY OR OTHER PARTY'S PROPERTY WITHOUT SUFFICIENT NOTICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE WHICH MIGHT RESULT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE WHICH MIGHT RESULT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE WHICH MIGHT RESULT.
22. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE SAFETY OF ALL PERSONS ON OR ABOUT THE SITE, INCLUDING APPLICABLE REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS ON OR ABOUT THE SITE, INCLUDING APPLICABLE REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS ON OR ABOUT THE SITE, INCLUDING APPLICABLE REGULATIONS AND ORDINANCES.
23. PRIOR TO THE START OF ANY BUILDING CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE CITY ENGINEER AND THE COUNTY ENGINEER. PRIOR TO THE START OF ANY BUILDING CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE CITY ENGINEER AND THE COUNTY ENGINEER. PRIOR TO THE START OF ANY BUILDING CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.
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27. PRIOR TO THE START OF ANY BUILDING CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE CITY ENGINEER AND THE COUNTY ENGINEER. PRIOR TO THE START OF ANY BUILDING CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE CITY ENGINEER AND THE COUNTY ENGINEER. PRIOR TO THE START OF ANY BUILDING CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.
28. ALL SLOPES EXCEEDING 5:1 IN HEIGHT AND EXCEEDING 4:1 SLOPES SHALL BE STABILIZED WITH EROSION CONTROL MEASURES. ALL SLOPES EXCEEDING 5:1 IN HEIGHT AND EXCEEDING 4:1 SLOPES SHALL BE STABILIZED WITH EROSION CONTROL MEASURES. ALL SLOPES EXCEEDING 5:1 IN HEIGHT AND EXCEEDING 4:1 SLOPES SHALL BE STABILIZED WITH EROSION CONTROL MEASURES.
29. EROSION CONTROL MEASURES SHALL BE PROVIDED AS DISCLOSED IN THE LANDSCAPE DESIGN. EROSION CONTROL MEASURES SHALL BE PROVIDED AS DISCLOSED IN THE LANDSCAPE DESIGN. EROSION CONTROL MEASURES SHALL BE PROVIDED AS DISCLOSED IN THE LANDSCAPE DESIGN.

NOTE: FOR CIVIL ENGINEER TO DETERMINE GRADING REQUIRED IS IN SUBSTANTIAL COMPLIANCE WITH THE CITY OF PASO ROBLES. SUPPORT THE INTERFERED STRUCTURE.

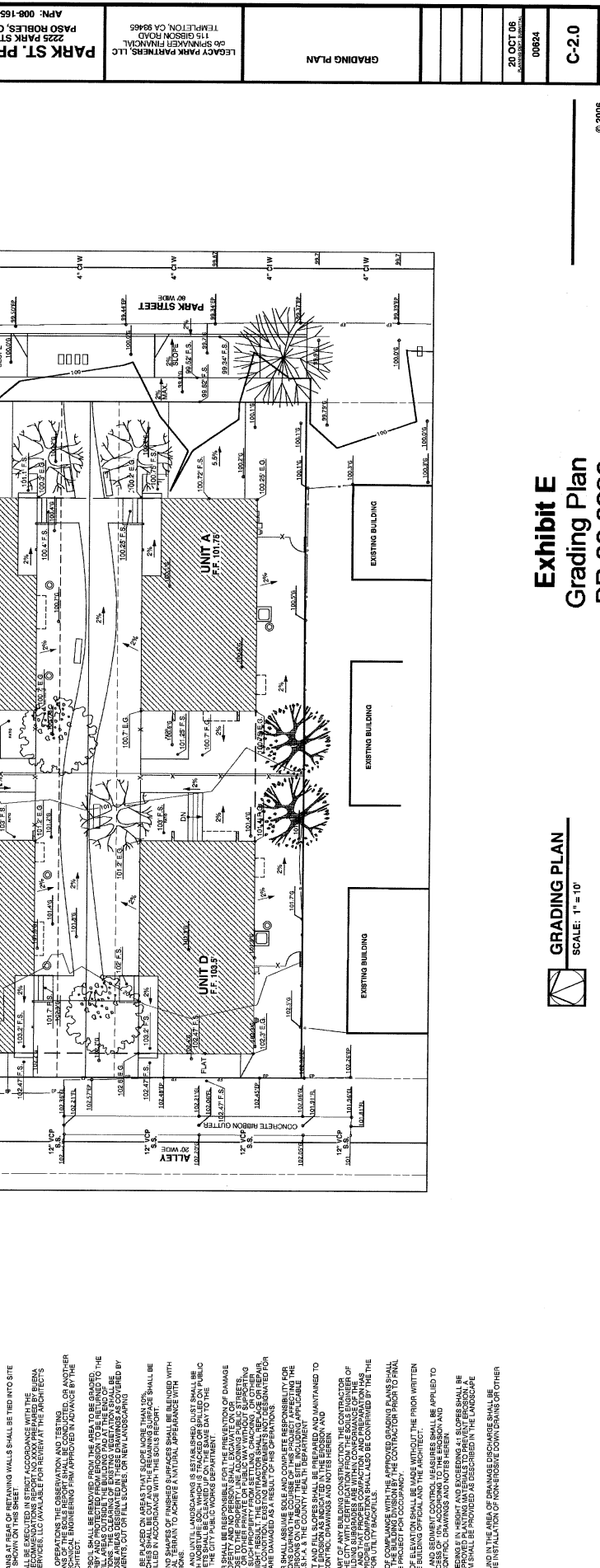
DEPTH OF CUT AND FILL:
 CUT: MIN. 1 FOOT
 FILL: MIN. 1 FOOT
 MAX. 4 FEET
 MAX. 4 FEET

FLOOD ZONE:
 THIS PROJECT IS NOT IN A FLOOD HAZARD AREA. THE DESIGNER HAS CONSIDERED THE FLOOD HAZARD AND HAS PROVIDED THE NECESSARY PROTECTION TO PREVENT FLOODING. THE DESIGNER HAS CONSIDERED THE FLOOD HAZARD AND HAS PROVIDED THE NECESSARY PROTECTION TO PREVENT FLOODING.

OAK TREES:
 THERE ARE NO EXISTING OAK TREES ON THIS SITE.

PROJECT SUMMARY:
 DWELLING UNITS: FOUR DWELLING UNITS, THREE BEDROOMS PER UNIT.
 PARKING: TWO SPACES IN GARAGE, TWO SPACES IN DRIVEWAY, TWO SPACES IN GARAGE, TWO SPACES IN DRIVEWAY.

CUT AND FILL CALCULATION:
 CUT: NONE
 FILL: NONE



SYMBOL	BOTANICAL NAME	COMMON NAME
	QUERCUS OBATA	CALIFORNIA WHITE OAK
	PROPIGUS PUBESCENS	SCREWBEECH MESQUITE
	CHLOPS LINEARIS	DESERT WILLOW
	APRULUS NUZZEBI	MADRONE
	EDMUNDI	BIG BURN MANZANITA
	PROSTRATUS	SUCKWHEAT
	AGAVE DESERTI ENGELM.	DESERT AGAVE
	CERTUS LADANIFER	CRIMSON SPOT ROCKROSE
	CELTICA CANIBA	ELIUM BLUE FESCUE
	ELIUM BLUE	ROCK ROSE
	CERTUS SUNSET	THIS PLANTING INCLUDES NATIVE DROUGHT TOLERANT PLANTS INCLUDING GRASSES AND COVERS SMALL SHRUBS. HEIGHT RANGE OF 4' TO 8' IS INDICATED IN THE ERUCTION COLUMN.
	YERBA SANTA	YERBA SANTA
	ACHILLEA MILLEFOLIUM	YARROW
	CAUCASICA	CAUCASICA
	TRAILING ROSEMARY	TRAILING ROSEMARY
	OFFICINALIS	OFFICINALIS
	THYMUS SERPYLLUM	CREEPING THYME
	ALCALI FIVE	ALCALI FIVE
	ESCHOLZIA CALIFORNICA	CALIFORNIA POPPIES
	LUPIN	LUPIN
	PLATYRHEON CALIFORNICUS	CREAM CUPS
	SALVIA COLUMBARIAE	CHIA
	MORDELLA BREWERI	MUSTANG MINT
	DOCKWORTHEN CLEVELANDI	SHOOTING STAR
	VIOLA PEDUNCULATA	VIOLET
	LAETHEA GLOBATA	GOLDFIELDS
	BARK CHRISTOPHORA	COAST GOLDFIELDS
	CHRYSAEOPSIS CALANCOVIOLA	PRODRAGON FLOWER
	DECORATIVE ROCKS	DECORATIVE ROCKS

WATER CONSERVATION: PERMANENT WATER PLANTING WITH LOW WATER REQUIREMENTS SHALL BE USED IN ALL NEW AREAS AND IN AREAS WHERE WATER CONSERVATION IS NECESSARY TO SUSTAIN PLANT LIFE. SOIL IRRIGATION SHALL BE USED TO MINIMIZE THE SUMMER TIME RUNOFF.

PLANTING ZONES: PLANTING AND PATHWAY PLANTINGS SHALL BE OF NATIVE PLANT MATERIAL. PLANTINGS SHALL BE ACCORDING TO THE SITES' WESTERN GARDEN BOOK. PLANTINGS SHALL BE ACCORDING TO THE SITES' WESTERN GARDEN BOOK. PLANTINGS SHALL BE ACCORDING TO THE SITES' WESTERN GARDEN BOOK.

SOILS: ALL PLANTED AREAS WILL BE COVERED WITH BARK MULCH FOR WATER CONSERVATION AND WEED PREVENTION. MULCH SHALL BE A MINIMUM 2" THICK. SOILS SHALL BE ACCORDING TO THE SITES' WESTERN GARDEN BOOK.

NOTE: TO THE EXTENT THIS PLAN AND CONSTRUCTION DOCUMENTS DO NOT CONTRADICT THE CITY OF PASADENA'S ORDINANCES, THE CITY OF PASADENA'S ORDINANCES SHALL BE USED TO LIMIT THE TREE SELECTIONS. TREE SELECTIONS SHALL BE MODIFIED TO LIMIT THE GROWTH HEIGHT TO LIMIT SHADING OF THOSE SYSTEMS.

PAVING LEGEND

	CONCRETE PAVERS FOR PATIO, 10% VOID
	PERMEABLE CONCRETE PAVERS FOR DRIVEWAY, 7% VOID

FLOOD ZONE
THIS PROJECT IS LOCATED IN A ZONE FLOOD AREA. THIS PROJECT SHALL BE DESIGNED TO BE PROTECTED FROM FLOODING IN ACCORDANCE WITH THE CITY OF PASADENA'S FLOOD HAZARD MAPS AVAILABLE AT THE CITY OF PASADENA'S PLANNING DEPARTMENT. THE FLOOD HAZARD MAPS SHALL BE A MINIMUM 1/2" ABOVE THE FINISH GRADE ELEVATION OF THE DRIVEWAY. THE FINISH GRADE ELEVATION SHALL BE A MINIMUM 1/2" ABOVE AT LEAST 1' HIGHER THAN THE HIGHEST ADJACENT VERTICAL ELEVATION ON THE COMPLIANCE REQUIREMENT.

OAK TREES
THERE ARE NO EXISTING OAK TREES ON THIS SITE.

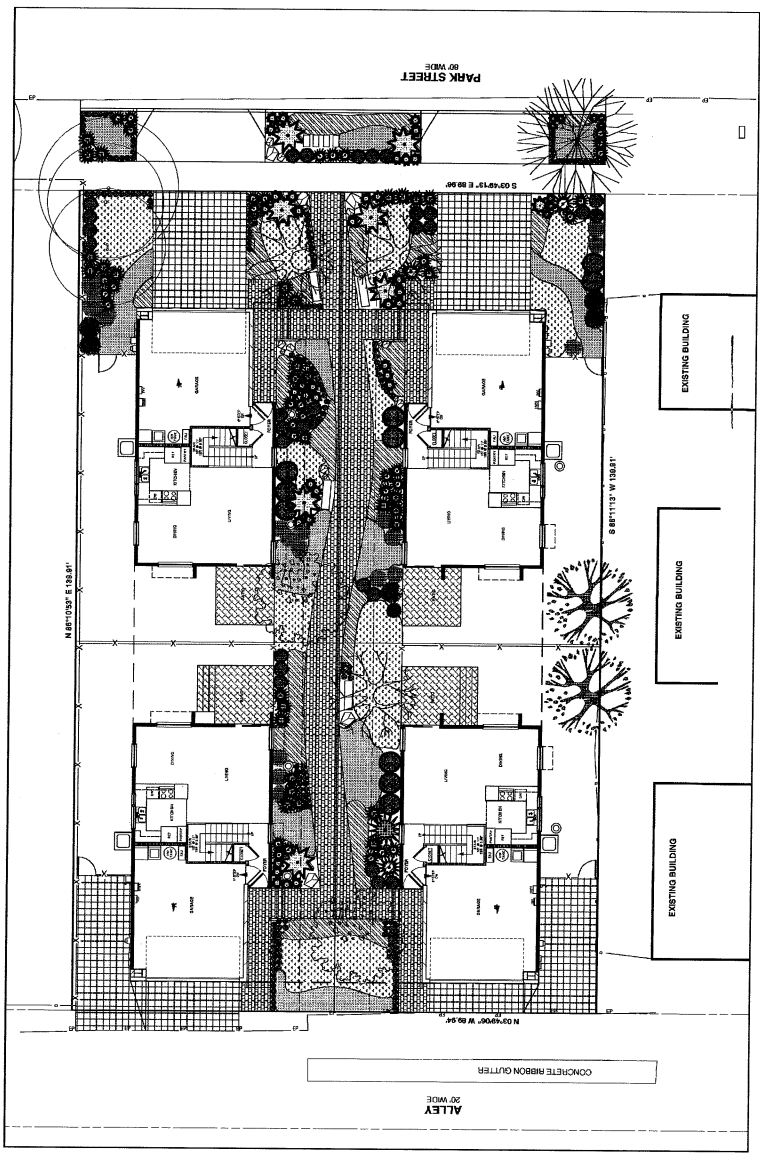
PROJECT SUMMARY
DWELLING UNIT, FOUR DWELLING UNITS, THREE BEDROOMS PER UNIT. LOT 1 & 2: TWO SPACES IN GARAGE, TWO SPACES IN DRIVEWAY. LOT 3 & 4: TWO SPACES IN GARAGE, ONE SPACE ADJACENT TO GARAGE.

GENERAL LANDSCAPE NOTES

- ALL LANDSCAPE PLANTING IS TO BE AUTOMATICALLY IRRIGATED USING AUTOMATIC IRRIGATION SYSTEMS. IRRIGATION SHALL BE CONSISTENT WITH NURSERY STANDARDS AND CONSERVATIVE WATER.
- THE LANDSCAPE DESIGN IS PLANNED TO CREATE EROSION CONTROL, LIMIT RUNOFF, AND CONSERVATIVE WATER.
- THE LANDSCAPE DESIGN IS PLANNED TO CREATE A BUFFER BETWEEN PEDESTRIAN AND VEHICLE TRAFFIC, AND TO PROVIDE A NATURAL CALIFORNIA LANDSCAPE.
- LANDSCAPE LIGHTING SHALL BE PROVIDED ALONG THE PEDESTRIAN ROUTE OF TRAVEL, FROM THE FRONT OF THE PROPERTY TO THE REAR ALIENS.

IRRIGATION NOTES

- ALL LANDSCAPE PLANTING IS TO BE AUTOMATICALLY IRRIGATED PER THE FOLLOWING CRITERIA:
 - IRRIGATION SHALL BE CONSISTENT WITH NURSERY STANDARDS, IRRIGATION SHALL BE CONSISTENT WITH NURSERY STANDARDS, IRRIGATION SHALL BE CONSISTENT WITH NURSERY STANDARDS, IRRIGATION SHALL BE CONSISTENT WITH NURSERY STANDARDS.
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- ALL IRRIGATION IS TO BE AUTOMATIC AND INSTALLED WITH PERMEABLE CONCRETE PAVERS FOR DRIVEWAY, 7% VOID.
- ALL IRRIGATION IS TO BE AUTOMATIC AND INSTALLED WITH PERMEABLE CONCRETE PAVERS FOR DRIVEWAY, 7% VOID.
- A DEFERRED SUBMITTAL SHALL BE PRESENTED TO THE ARCHITECT & ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.



LANDSCAPE PLAN
SCALE: 1" = 10'

Exhibit F
Landscape Plan
PR 06-0236
(Legacy Partners, LLC)

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WALL LEGEND

- 2" x 4" INTERIOR FRAMING @ 16" O.C.
- 2" x 4" @ ALL EXTERIOR FRAMING/PLUMBING WALLS @ 16" O.C.
- 2" x 4" FRAMING - PARTIAL HEIGHT WALL
- ONE-HOUR RATED WALL
- 8" CONCRETE BLOCK WALL
- DETAIL NUMBER
- SHEET NUMBER
- WINDOW SYMBOL LETTER, SCHEDULE SHEET A-3.0
- DOOR NUMBER, SCHEDULE SHEET A-3.0
- DESIGNATES THE LOCATION OF AN INTERIOR FINISHING SECTION
- SHEET NUMBER

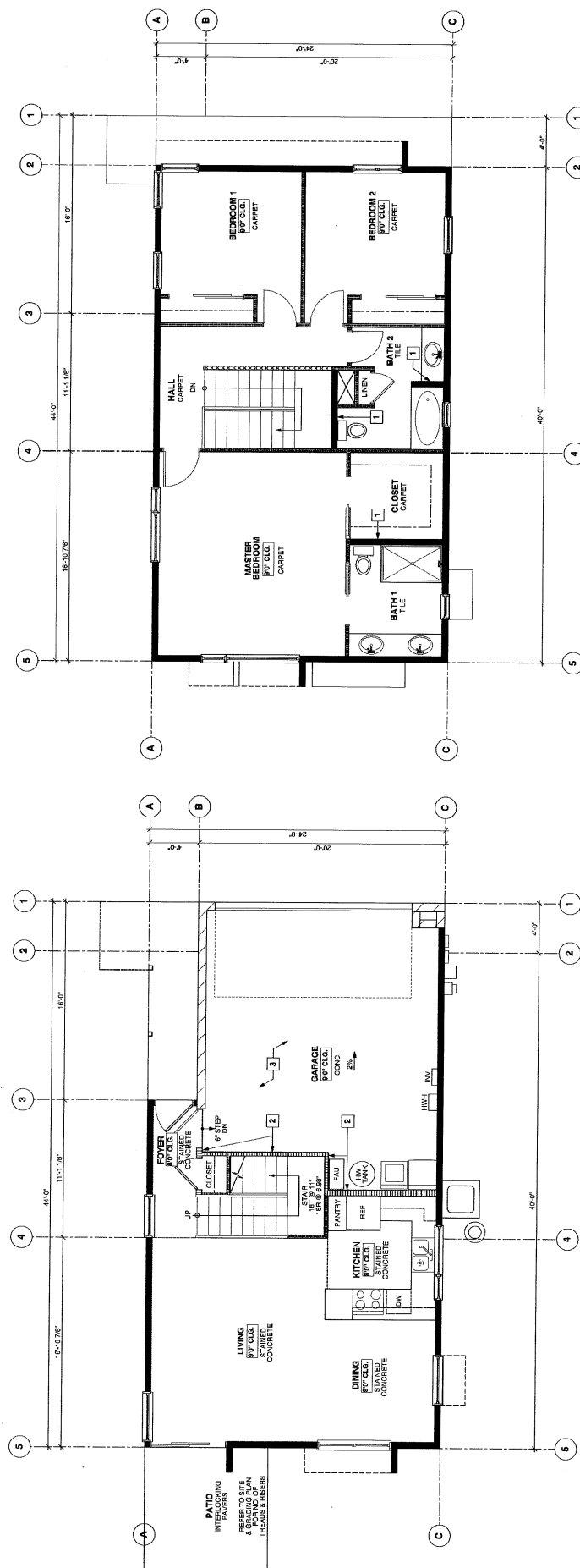
DIMENSIONAL PLAN GENERAL NOTES:

1. ALL INTERIOR DOOR HEIGHTS SHALL BE 6'-8" U.N.O. VERIFY TOUGH OPENINGS PRIOR TO FRAMING
2. ALL EXTERIOR DOORS AND WINDOWS HEIGHTS SHALL BE 7'-0" U.N.O. VERIFY TOUGH OPENINGS PRIOR TO FRAMING
3. ALL ANGLES ARE AT 45° U.N.O.
4. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT WITH ALL DISCREPANCIES PRIOR TO CONSTRUCTION
5. NOT USED
6. ALL FINISH CEILING HEIGHTS SHALL BE 8'-0" TYP. U.N.O.
7. PROVIDE BLOCKING @ ALL BULTINS AND MIRRORS
8. ADDITIONAL INFORMATION, BLOCKING. REFER TO SHEET A-3.0 FOR

DIMENSIONAL PLAN REFERENCE NOTES:

1. 2 X 8 PLUMBING WALL
2. ONE HOUR RATED WALL WITH CURBED PLUMBING WALL REFER TO FLOOR PLAN FOR RATED WALL ASSEMBLY NOTES
3. ONE HOUR RATED CEILING REFER TO FLOOR PLAN FOR RATED WALL ASSEMBLY NOTES

NOTE: DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT WITH ALL DISCREPANCIES PRIOR TO CONSTRUCTION



MAIN FLOOR - UNIT A

UPPER FLOOR - UNIT A

DIMENSIONAL FLOOR PLAN
SCALE: 1/4" = 1'-0"

Exhibit G
Unit A Floor Plan
PR 06-0236
(Legacy Partners, LLC)

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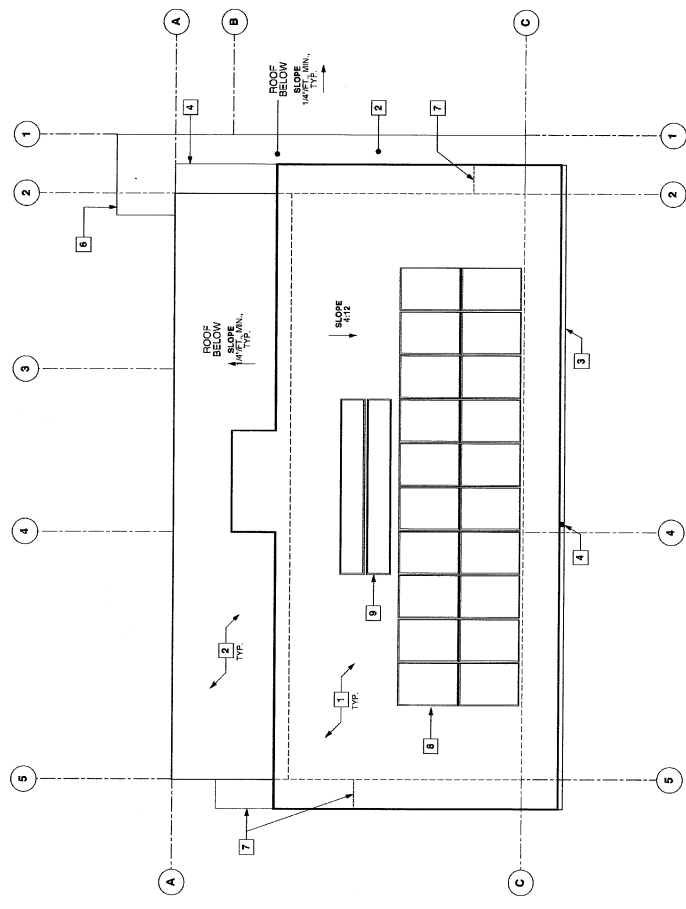


Exhibit H
Unit A Roof Plan
PR 06-0236
(Legacy Partners, LLC)

ROOF PLAN
 SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS REFERENCE NOTES:

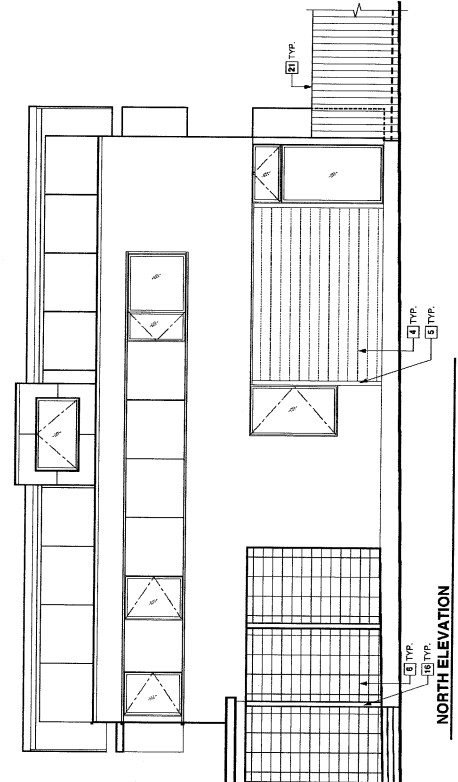
1. ASPHALT COMPOSITION ROOFING - REFER TO ROOF PLAN FOR SPECIFICATION
2. LA HABRA EXTERIOR STUCCO
3. JAMES HARDIE FIBER-CEMENT SMOOTH SIDING - 4X8 PANELS WITH GALVANIZED RIGIDIT TRIM
4. JAMES HARDIE FIBER-CEMENT SMOOTH LAP SIDING - 8' EXPOSURE
5. JAMES HARDIE FIBER-CEMENT SMOOTH TRIM
6. STACKED BOND CONCRETE BLOCK
7. MILGARD ALUMINUM FRAME WINDOW - ANODIZED
8. MILGARD ALUMINUM FRAME SLIDING DOOR - ANODIZED
9. SOLID WOOD DOOR - SEAL CLEAR
10. PREPARED WOOD SECTIONAL GARAGE DOOR
11. EXPOSED STEEL BEAM PAINTED
12. WOOD FASCIA BOARDS PAINT
13. METAL FLASHING PAINT
14. METAL GUTTER PAINT
15. RAINCUP CHAIN DOWNSPOUT
16. PAINTED TUBE STEEL COLUMN PER PLAN
17. METAL CLAD SUNSHADE
18. METAL CLAD SUNSHADE - TEKA ARCHITECTURE FULL SHIELD, NEUTRAL METAL FINISH
19. HOUSE NUMBERS TO COMPLY WITH CITY STANDARDS & NOTE #9 OF EXTERIOR GENERAL NOTES
20. WINDOW OR DOOR WITH MIN. 2' CLEAR FROM OPENABLE
21. 1/2" CEDAR WOOD FENCE
22. EXISTING GRADE
23. FINISH GRADE
24. CONCRETE PAVEMENT - REFER SHT. C-1.0 FOR ADDL INFO.
25. VERIFY METEOROLOGICAL DATA WITH UTILITY COMPANIES
26. PROPOSED PHOTOVOLTAIC PANELS
27. PROPOSED DOMESTIC SOLAR HOT WATER COLLECTORS
28. CATCH BASIN FOR ROOF DRAINAGE
29. PROPOSED LOCATION FOR A/C COMPRESSOR. VERIFY POWER REQUIREMENTS WITH MANUFACTURER

EXTERIOR FINISHES:

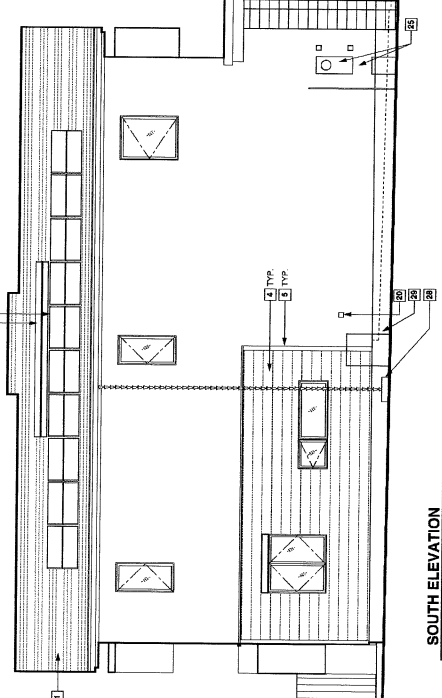
- MANUFACTURER'S FINISHING REFER TO A7.2 FOR SPEC. STUCCO.
- MANUFACTURER'S FINISHING REFER TO COLORBOARDS
- MANUFACTURER'S FINISHING REFER TO COLORBOARD
- MANUFACTURER'S FINISHING REFER TO COLORBOARD
- MANUFACTURER'S FINISHING REFER TO COLORBOARD
- MANUFACTURER'S FINISHING REFER TO COLORBOARD
- MANUFACTURER'S FINISHING REFER TO COLORBOARD

EXTERIOR ELEVATIONS GENERAL NOTES:

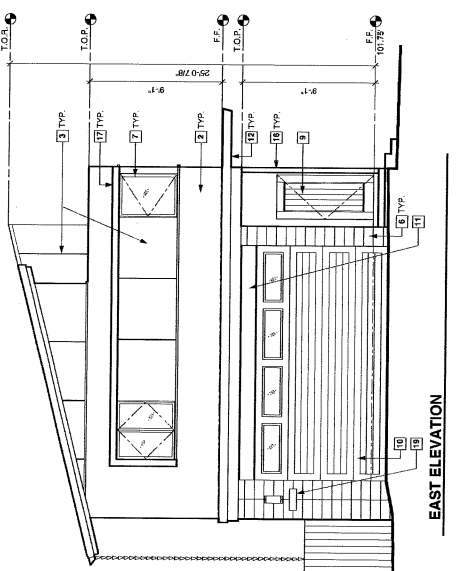
1. EXTERIOR FINISHES AND COLOR SHALL BE VERIFIED WITH THE MANUFACTURER'S FINISHING REFER TO COLORBOARDS ON THE PLANS OR NOT. VERIFY METEOROLOGICAL DATA WITH UTILITY COMPANIES
2. VERIFY METEOROLOGICAL DATA WITH UTILITY COMPANIES
3. LATH AND PLASTER, EXTERIOR PLASTER TO COMPLY WITH U.S.G. AND SHALL COVER UP A BARE SOLE TOY CLAY. SHALL BE PROTECTED FROM DAMAGE TO EXTERIOR CORNER DURING CONSTRUCTION AND AFTER CONSTRUCTION
4. A WEATHER STOPPING SHALL BE INSTALLED AT THE BASE OF ALL EXTERIOR FASTENINGS TO ALLOW TRAPPED WATER TO DRAIN AWAY FROM THE WALL. SEE SECTION 05110 FOR DETAILS. SHALL BE INSTALLED MIN. 4 INCHES FROM THE FACE OF THE WALL.
5. PROVIDE TWO LAYERS OF GYPSED PAPER BEHIND EXTERIOR PLASTER. PROVIDE TWO LAYERS OF GYPSED PAPER BEHIND EXTERIOR PLASTER. PROVIDE TWO LAYERS OF GYPSED PAPER BEHIND EXTERIOR PLASTER.
6. PROVIDE MIN. 1/8" BUILDING PAPER BEHIND WOOD SIDING AS A WEATHER RESISTIVE BARRIER PER U.S.G.
7. ALL EXTERIOR FINISHES SHALL BE MIN. 2" AWAY OVER EXTERIOR CORNER AND SHALL BE PROTECTED FROM DAMAGE TO EXTERIOR CORNER DURING CONSTRUCTION AND AFTER CONSTRUCTION
8. PROVIDE FINISH GRADE TO BE 2" ABOVE EXISTING GRADE. PROVIDE FINISH GRADE TO BE 2" ABOVE EXISTING GRADE.
9. ADDRESS NUMBERS, MIN. 6" HIGH SHALL BE POSTED ON THE BUILDING. PROVIDE FINISH GRADE TO BE 2" ABOVE EXISTING GRADE. PROVIDE FINISH GRADE TO BE 2" ABOVE EXISTING GRADE.



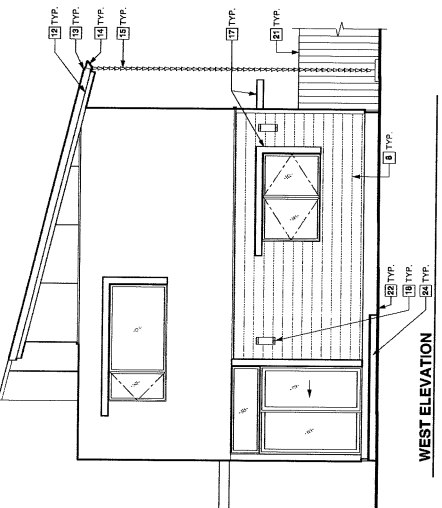
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

Exhibit I
Unit A Exterior Elevations
PR 06-0236
(Legacy Partners, LLC)

EXTERIOR ELEVATIONS
 SCALE: 1/4" = 1'-0"



CRAGG SWITH ARCHITECT 100 Midway Street, Suite 11, San Luis Obispo, CA 93401 805-544-3308	LEGACY PARTNERS, LLC 115 BRONX ROAD TEMPLETON, CA 92465	PARK ST. PROJECT 2297 PARK STREET PASO ROBLES, CA 92446 APN: 009-165-099	REGISTERED ARCHITECT STATE OF CALIFORNIA No. 10000 Cragg R. Swith, Architect Licensed under the authority of the State Architectural Board License No. 10000	UNIT A EXTERIOR ELEVATIONS	.20 OCT. 06 00624 A-9.0
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WALL LEGEND

- 2" x 4" INTERIOR FRAMING @ 16" O.C.
- 2" x 6" ALL EXTERIOR FRAMING/PLUMBING WALLS @ 16" O.C.
- 2" x 4" FRAMING - PARTIAL HEIGHT WALL
- ONE-HOUR RATED WALL
- 8" CONCRETE BLOCK WALL
- DETAIL NUMBER
- SHEET NUMBER
- WINDOW SYMBOL LETTER, SCHEDULE SHEET A-3.0
- DOOR NUMBER, SCHEDULE SHEET A-3.0
- DESIGNATES THE ELEVATION INTERIOR OR EXTERIOR OF SECTION
- SHEET NUMBER

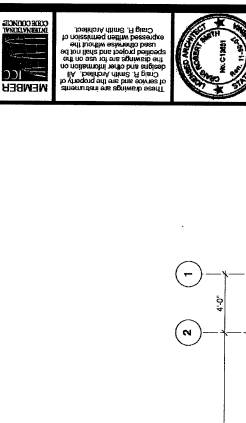
DIMENSIONAL PLAN GENERAL NOTES:

1. OPENINGS PRIOR TO FINISHES
2. ALL EXTERIOR DOOR AND WINDOW HEIGHTS SHALL BE 6'-6" U.N.O. VERIFY ROUGH
3. VERIFY FOUR-OPENING PRIOR TO FRAMING
4. ALL CEILING ARE AT 8'-0" U.N.O.
5. ARCHITECT WITH ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND VERIFY
6. NOT USED
7. ALL FINISH CEILING HEIGHTS SHALL BE 8'-0" TYP. U.N.O.
8. PROVIDE BLOCKING @ ALL BUILT-INS AND MIRRORS
9. NOTE: "D.M.P." IS DIMENSIONAL MARKING. REFER TO SHEET A-3.0 FOR DIMENSIONAL MARKING.

DIMENSIONAL PLAN REFERENCE NOTES:

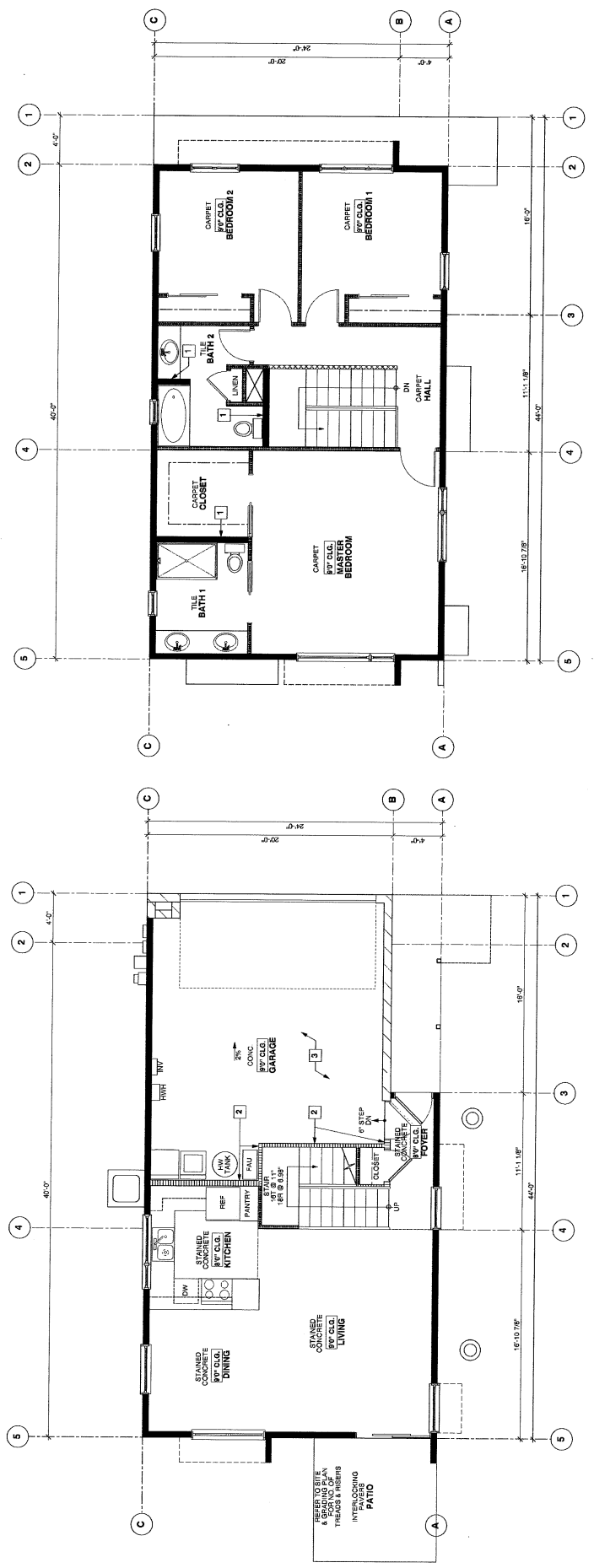
1. 2 X 6 PLUMBING WALL
2. ONE HOUR RATED WALL (W.V.A.) - REFER TO PLUMBING WALL ASSEMBLY NOTES
3. ONE HOUR RATED CEILING REFER TO FLOOR PLAN FOR RATED WALL ASSEMBLY NOTES

NOTE: ARCHITECTS SHALL VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT WITH ALL DISCREPANCIES PRIOR TO CONSTRUCTION



I, **CRAG L. SMITH**, a duly Licensed Professional Engineer in the State of California, License No. 44527, Mechanical, do hereby certify that I am the author of the above described drawings and that I am a duly Licensed Professional Engineer in the State of California, License No. 44527, Mechanical.

I, **CRAG L. SMITH**, a duly Licensed Professional Engineer in the State of California, License No. 44527, Mechanical, do hereby certify that I am the author of the above described drawings and that I am a duly Licensed Professional Engineer in the State of California, License No. 44527, Mechanical.



MAIN FLOOR - UNIT B

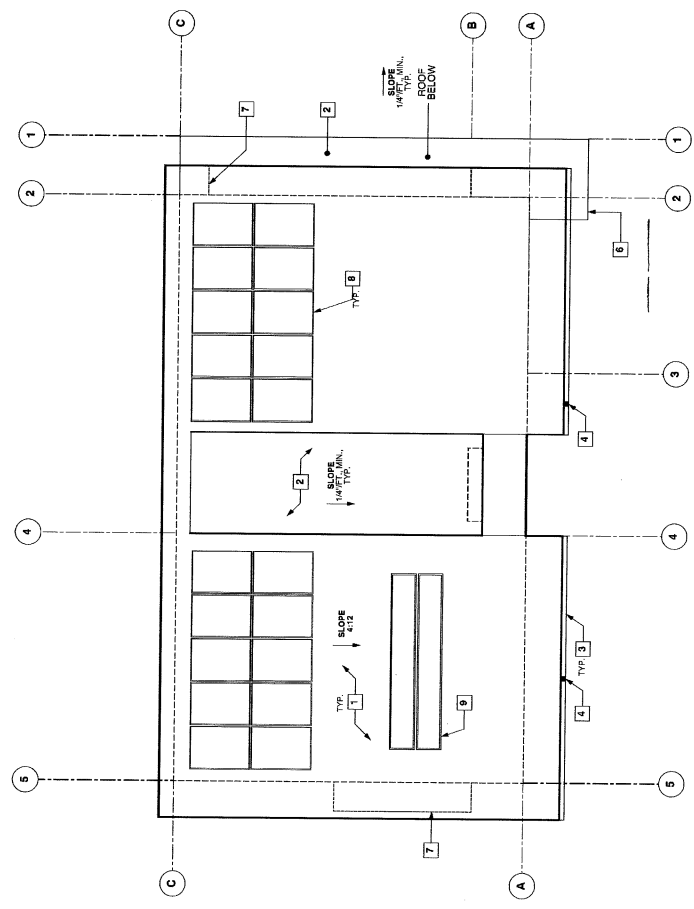
UPPER FLOOR - UNIT B

DIMENSIONAL FLOOR PLAN
SCALE: 1/4" = 1'-0"

Exhibit J
Unit B Floor Plan
PR 06-0236
(Legacy Partners, LLC)

Exhibit K Unit B Roof Plan PR 06-0236 (Legacy Partners, LLC)

ROOF PLAN
SCALE: 1/4" = 1'-0"



LEGACY PARTNERS, LLC 60 SPRINGFIELD AVENUE TEMPLETON, CA 93465	PARK ST. PROJECT 2225 PARK STREET PASO ROBLES, CA 93446 APN: 008-155-009		MEMBER 	ARCHITECT 	690 Monterey Street, Suite 13, San Luis Obispo, CA 93401 805-544-3380
			PROJECT NO. 00624	UNIT B ROOF PLAN	20 OCT 16 11:00 AM

WALL LEGEND

- 2" x 4" INTERIOR FRAMING @ 16" O.C.
- 2" x 6" ALL EXTERIOR FRAMING
- 2" x 8" ALL EXTERIOR FRAMING
- 3" x 3" FRAMING - SPINAL HEIGHT WALL
- ONE-HOUR RATED WALL
- 6" CONCRETE BLOCK WALL
- DETAIL NUMBER
- SHEET NUMBER
- WINDOR SYMBOL LETTER, REFER TO WINDOW SCHEDULE SHEET A-3.0
- DOOR SYMBOL LETTER, REFER TO DOOR SCHEDULE SHEET A-4.0
- DESIGNATES THE WINDOW OR EXTERIOR SECTION
- SHEET NUMBER

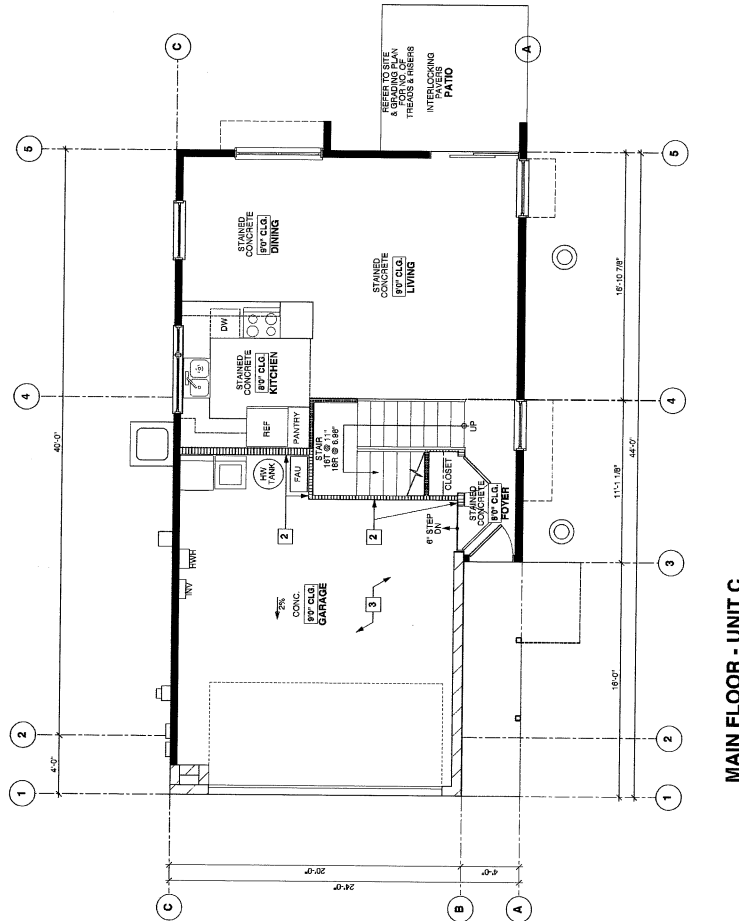
DIMENSIONAL PLAN GENERAL NOTES:

1. ALL INTERIOR DOOR HEIGHTS SHALL BE 8'-0" UNO. VERIFY ROUGH OPENINGS PRIOR TO FRAMING.
2. VERIFY FINISH FLOOR FINISHES PRIOR TO FRAMING.
3. ALL ANGLES ARE AT 45° UNO.
4. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT WITH ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
5. NOT USED.
6. ALL FINISH CEILING HEIGHTS SHALL BE 9'-0" TYP. UNO.
7. PROVIDE BLOCKING @ ALL BUILT-UP AND HANDRAILS.
8. NOTES TEMP. - TEMPORARY BUILDING. REFER TO SHEET A-3.0 FOR ADDITIONAL INFORMATION.

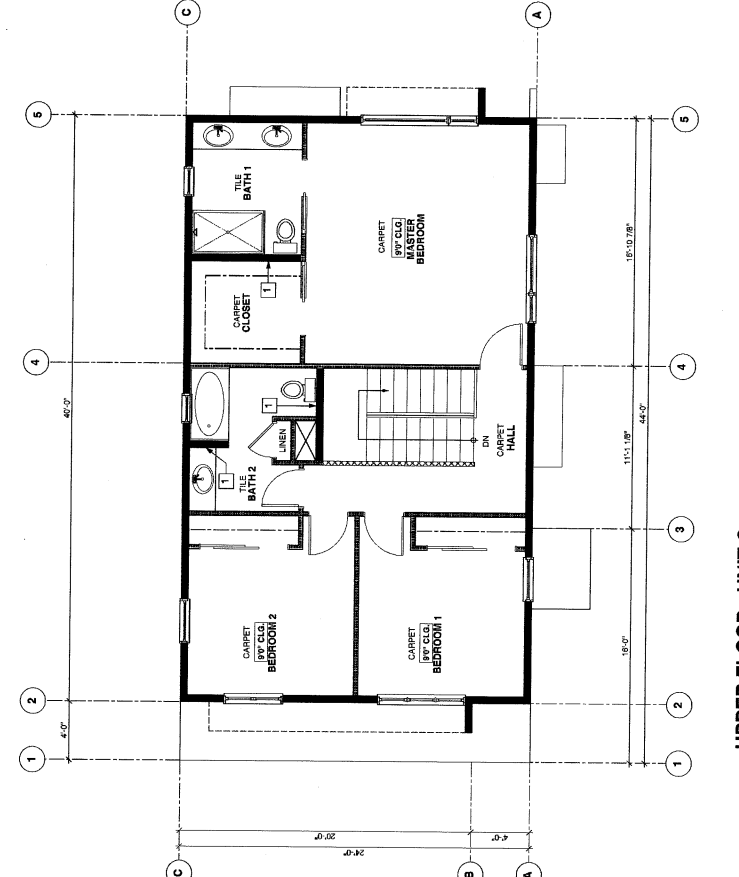
DIMENSIONAL PLAN REFERENCE NOTES:

1. 2" x 8" PLUMBING WALL
2. ONE-HOUR RATED WALL WITH X-FRAMED PLUMBING WALL ASSEMBLY NOTES
3. ONE-HOUR RATED CEILING REFER TO FLOOR PLAN FOR RATED WALL ASSEMBLY NOTES

NOTE:
VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT WITH ALL DISCREPANCIES PRIOR TO CONSTRUCTION.



MAIN FLOOR - UNIT C



UPPER FLOOR - UNIT C

DIMENSIONAL FLOOR PLAN
SCALE: 1/8" = 1'-0"

Exhibit M
Unit C Floor Plan
PR 06-0236
(Legacy Partners, LLC)

<p>980 Montgomery Street, Suite 13, San Luis Obispo, CA 93401 805-544-3308</p>	<p>These drawings are the preparation of the architect or other professional engineer and are not to be construed as a representation of the contractor.</p>	<p>Chang H. Shih, Architect</p>	<p>PARK ST. PROJECT 2225 PARK STREET PASO ROBLES, CA 93446 APN: 008-165-009</p>	<p>LEGACY PARTNERS, LLC 605 SHIMMELT TRAIL, SUITE 115 GIBSON ROAD TEMPLETON, CA 93465</p>	<p>UNIT C DIMENSIONAL FLOOR PLAN</p>	<p>PROJECT NO. 00624</p>	<p>A-1.0</p>
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© 2006

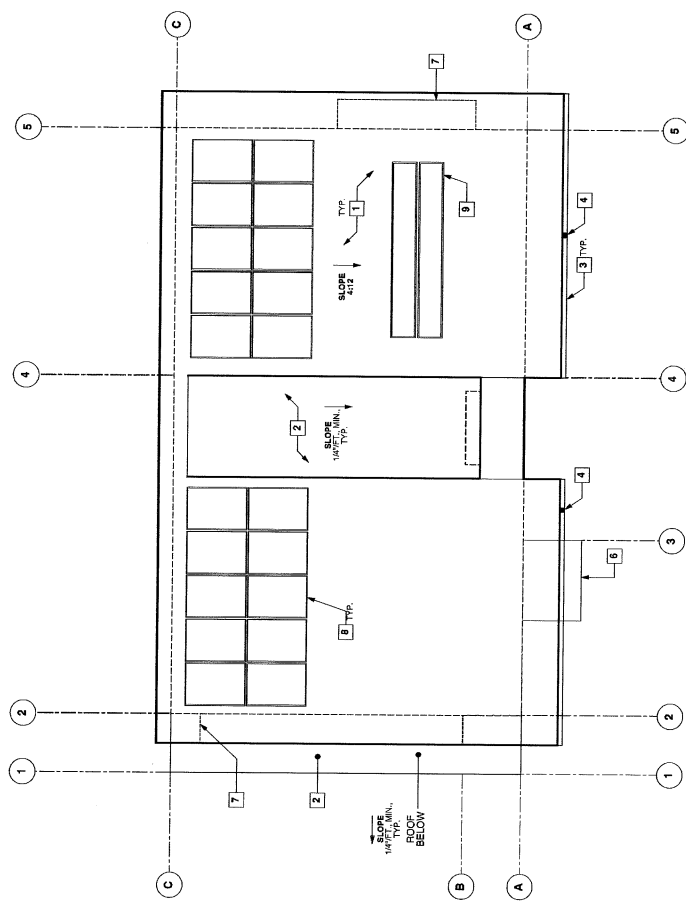


Exhibit N
Unit C Roof Plan
PR 06-0236
 (Legacy Partners, LLC)

ROOF PLAN
 SCALE: 1/4" = 1'-0"

WALL LEGEND

- 2" x 4" INTERIOR FRAMING @ 16" O.C.
- 2" x 6" @ ALL EXTERIOR FRAMING
- PLUMBING WALLS @ 16" O.C.
- 2" x 4" FRAMING - PARTIAL HEIGHT WALL
- ONE-HOUR RATED WALL
- 8" CONCRETE BLOCK WALL
- DETAIL NUMBER
- SHEET NUMBER
- REFER TO WINDOW LETTER, SCHEDULE SHEET A-3.0
- DOOR NUMBER, SCHEDULE SHEET A-3.0
- DESIGNATES THE LOCATION OF WATER MAIN OR GAS MAIN FOR SECTION
- SHEET NUMBER

DIMENSIONAL PLAN GENERAL NOTES:

1. ALL INTERIOR DOOR HEIGHTS SHALL BE 6'8" UNCL. VERIFY THROUGH OPENINGS PRIOR TO FRAMING.
2. ALL EXTERIOR DOOR AND WINDOW HEIGHTS SHALL BE 7'0" U.N.O.
3. ALL ANGLES ARE AT 45° U.N.O.
4. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT WITH ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
5. NOT USED.
6. ALL FINISH CEILING HEIGHTS SHALL BE 4'-0" TYP. UNCL.
7. PROVIDE FLOORING @ ALL BUILDINGS AND WHORHS.
8. ADDITIONAL INFORMATION, PLACING. REFER TO SHEET A-3.0 FOR

DIMENSIONAL PLAN REFERENCE NOTES:

1. 2 X 8 PLUMBING WALL
2. ONE HOUR RATED WALL (W/ 2 X 8 RIGID PLUMBING WALL) REFER TO FLOOR PLAN FOR RATED WALL ASSEMBLY NOTES
3. ONE HOUR RATED CEILING REFER TO FLOOR PLAN FOR RATED WALL ASSEMBLY NOTES

NOTE: DIMENSIONS MUST TO CORRECTLY REFLECT AND NOTIFY ARCHITECT WITH ALL DISCREPANCIES PRIOR TO CONSTRUCTION.



800 Montgomery Street, Suite 13, San Luis Obispo, CA 93401
 805-944-3300
 ARCHITECT
 C.R. SMITH ARCHITECT

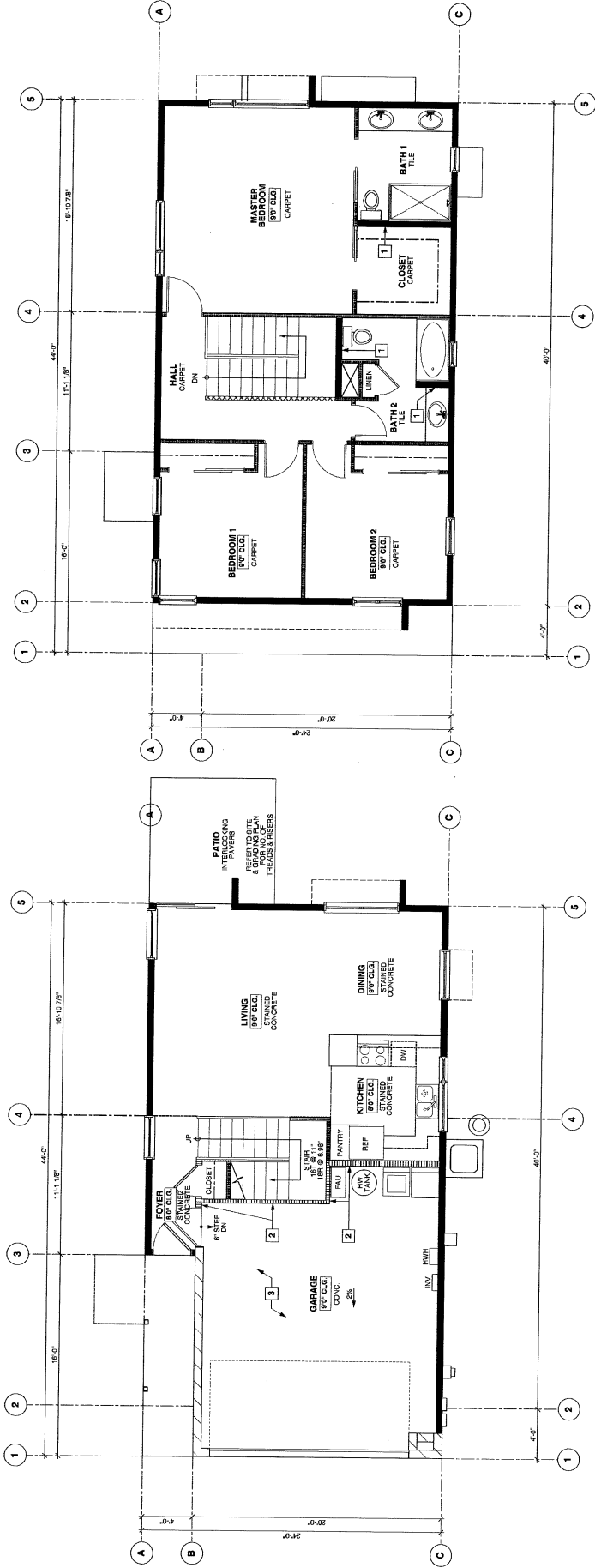


PARK ST. PROJECT
 2225 PARK STREET
 PASO ROBLES, CA 93446
 APN: 008-165-009

LEGACY PARTNERS, LLC
 115 GIBSON ROAD
 TEMPLETON, CA 92465

UNIT D
 DIMENSIONAL FLOOR PLAN

20 OCT 06
00624
A-1.0



MAIN FLOOR - UNIT D

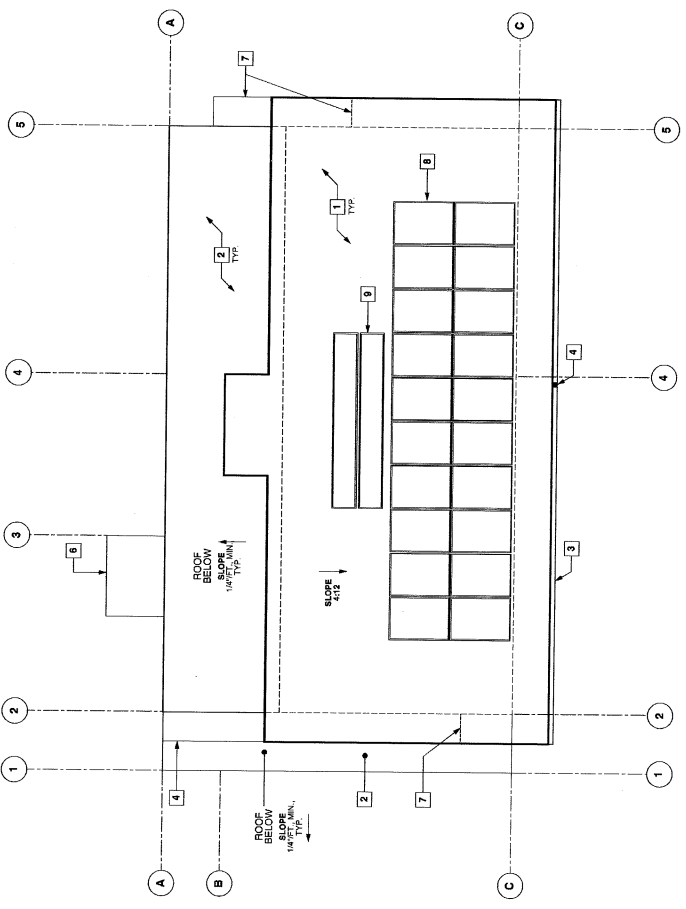
UPPER FLOOR - UNIT D

DIMENSIONAL FLOOR PLAN
 SCALE: 1/4" = 1'-0"

Exhibit P
Unit D Floor Plan
PR 06-0236
(Legacy Partners, LLC)

Exhibit Q
Unit D Roof Plan
PR 06-0236
(Legacy Partners, LLC)

ROOF PLAN
SCALE: 1/4" = 1'-0"



LEGACY PARTNERS, LLC 115 GIBSON ROAD TEMPLETON, CA 93465	SPUNKER FINANCIAL 2225 PARK STREET PASO ROBLES, CA 93446 A.P.N.: 008-165-009		CRAIG R. SMITH ARCHITECT 890 Monterey Street, Suite 13, San Luis Obispo, CA 93401 805-544-5309
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EXTERIOR ELEVATIONS REFERENCE NOTES:

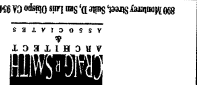
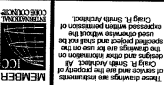

- 1 ASPHALT COMPOSITION ROOFING - REFER TO ROOF PLAN FOR SPECIFICATION
- 2 LA MARRA EXTERIOR STUCCO
- 3 JAMES HARDIE FIBER-CEMENT SMOOTH SIDING - 48" PANELS WITH GALVANIZED PULLEY TRIM
- 4 JAMES HARDIE FIBER-CEMENT SMOOTH LAP SIDING - 8" EXPOSURE
- 5 JAMES HARDIE FIBER-CEMENT SMOOTH TRIM
- 6 STACKED BOND CONCRETE BLOCK
- 7 MILGARD ALUMINUM FRAME SLIDING DOOR - ANODIZED
- 8 MILGARD ALUMINUM FRAME WINDOW - ANODIZED
- 9 SOLID WOOD DOOR - SEAL CLEAR
- 10 PREFABRICATED WOOD SECTIONAL GARAGE DOOR
- 11 EXPOSED STEEL BEAM, PAINTED
- 12 WOOD PASCIA BOARDS, PAINT
- 13 METAL FLASHING PAINT
- 14 METAL GUTTER, PAINT
- 15 MANGUP CHAIN DOWNPOUT
- 16 PAINTED TUBE STEEL COLUMN, PER PLAN
- 17 METAL CLAD SUNSHADE
- 18 METAL CLAD SUNSHADE, TERA, AIRGRADE FULL SHIELD, NOTE # OF EXT ELEVATION GENERAL NOTES
- 19 WINDY OR DOOR
- 20 1/8" CEDAR WOOD FENCE
- 21 EXISTING GRADE
- 22 FINISH GRADE
- 23 CONCRETE PAVEMENT - REFER SHT. C-10 FOR ADD'L INFO.
- 24 VERIFY METER LOCATIONS WITH UTILITY COMPANIES
- 25 PROPOSED PHOTOVOLTAIC PANELS
- 26 PROPOSED DOMESTIC SOLAR HOT WATER COLLECTORS
- 27 CATCH BASIN FOR ROOF DRAINAGE
- 28 PROPOSED LOCATION FOR A/C COMPRESSOR, VERIFY POWER REQUIREMENTS WITH MANUFACTURER

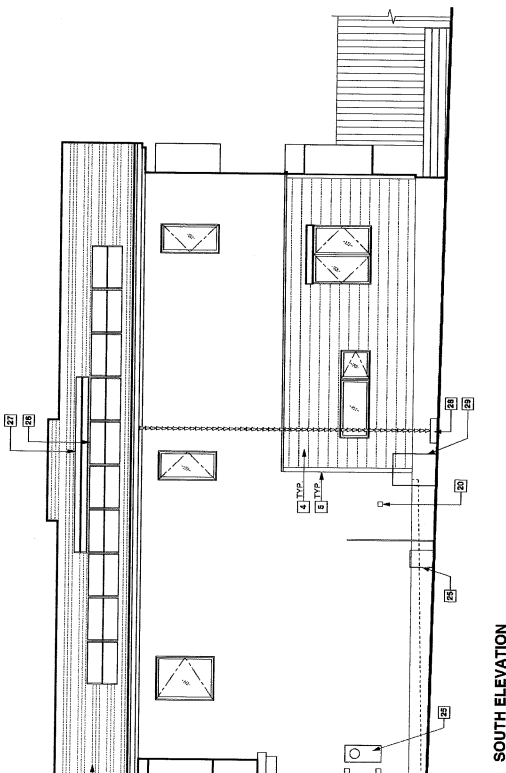
EXTERIOR FINISHES:

- ROOF MATERIAL: MANUFACTURER'S RECOMMENDATION, REFER TO A-7.0 FOR SPECIFICATIONS.
- WALLS: MANUFACTURER'S RECOMMENDATION, REFER TO A-7.0 FOR SPECIFICATIONS.
- CONCRETE BLOCK: MANUFACTURER'S RECOMMENDATION, REFER TO A-7.0 FOR SPECIFICATIONS.
- WOOD: MANUFACTURER'S RECOMMENDATION, REFER TO A-7.0 FOR SPECIFICATIONS.
- PAINT: MANUFACTURER'S RECOMMENDATION, REFER TO A-7.0 FOR SPECIFICATIONS.

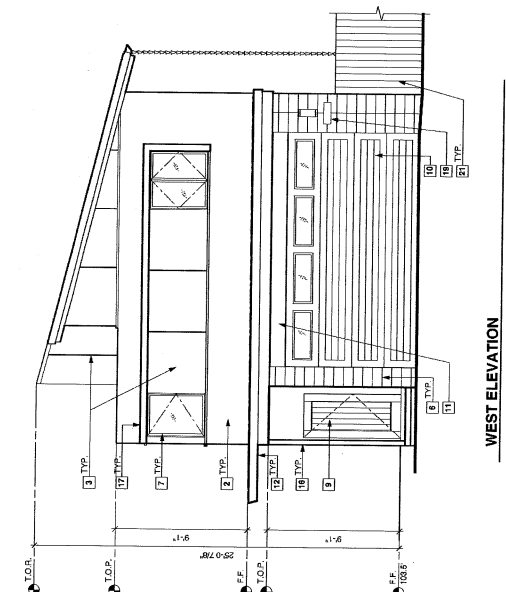
EXTERIOR ELEVATIONS GENERAL NOTES:

1. OWNER PROVIDED SCHEDULE SHALL BE SHOWN WITH THE EXTERIOR ELEVATIONS. REFER TO A-7.0 FOR SPECIFICATIONS.
2. ALL DIMENSIONS SHALL BE SHOWN ON THE EXTERIOR ELEVATIONS. REFER TO A-7.0 FOR SPECIFICATIONS.
3. ALL DIMENSIONS SHALL BE SHOWN ON THE EXTERIOR ELEVATIONS. REFER TO A-7.0 FOR SPECIFICATIONS.
4. ALL DIMENSIONS SHALL BE SHOWN ON THE EXTERIOR ELEVATIONS. REFER TO A-7.0 FOR SPECIFICATIONS.
5. ALL DIMENSIONS SHALL BE SHOWN ON THE EXTERIOR ELEVATIONS. REFER TO A-7.0 FOR SPECIFICATIONS.
6. ALL DIMENSIONS SHALL BE SHOWN ON THE EXTERIOR ELEVATIONS. REFER TO A-7.0 FOR SPECIFICATIONS.
7. ALL DIMENSIONS SHALL BE SHOWN ON THE EXTERIOR ELEVATIONS. REFER TO A-7.0 FOR SPECIFICATIONS.
8. ALL DIMENSIONS SHALL BE SHOWN ON THE EXTERIOR ELEVATIONS. REFER TO A-7.0 FOR SPECIFICATIONS.
9. ALL DIMENSIONS SHALL BE SHOWN ON THE EXTERIOR ELEVATIONS. REFER TO A-7.0 FOR SPECIFICATIONS.
10. ALL DIMENSIONS SHALL BE SHOWN ON THE EXTERIOR ELEVATIONS. REFER TO A-7.0 FOR SPECIFICATIONS.

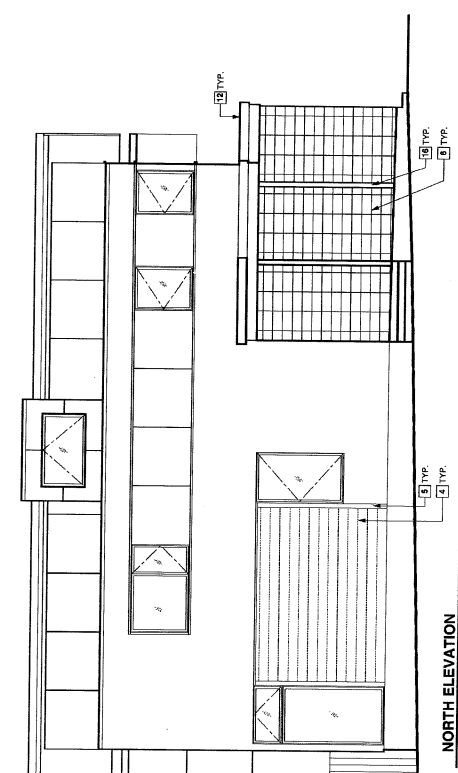
	880 Monterey Street, Suite 13, San Luis Obispo CA 93401 805-544-8308 ASSOCIATES ARCHITECT		These drawings are prepared by CRP & SMITH ARCHITECT ASSOCIATES. They are not to be used for any other project without the written permission of CRP & SMITH ARCHITECT ASSOCIATES.		APN: 008-165-009 PASO ROBLES, CA 93446 PARK ST. PROJECT	LEGACY PARK PARTNERS, LLC 65 SPINNAKER FINANCIAL TEMPLETON ROAD TEMPLETON, CA 93465	UNIT D EXTERIOR ELEVATIONS	20 OCT 06 00824	A-9.0
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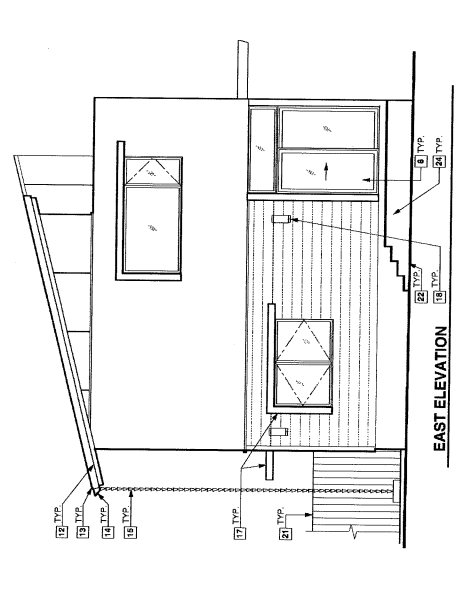
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION


 EXTERIOR ELEVATIONS REFERENCE
 SCALE: 1/4" = 1'-0"

Exhibit R
Unit D Exterior Elevations
PR 06-0236
(Legacy Partners, LLC)

PROOF OF PUBLICATION

LEGAL NEWSPAPER NOTICES

PLANNING COMMISSION/CITY COUNCIL
PROJECT NOTICING

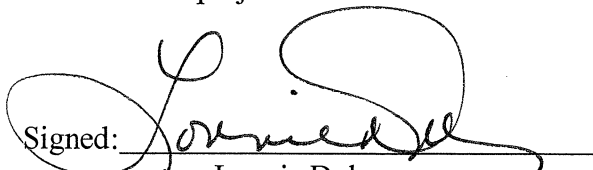
Newspaper: Tribune

Date of Publication: February 14, 2007

Meeting Date: February 27, 2007
(Planning Commission)

Project: Tentative Parcel Map
PR 06-0236 (Legacy Park
Partners, LLC - 2225 Park St)

I, Lonnie Dolan, employee of the Community Development Department, Planning Division, of the City of El Paso de Robles, do hereby certify that this notice is a true copy of a published legal newspaper notice for the above named project.

Signed: 
Lonnie Dolan

forms/newsaffi.691

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of El Paso de Robles will hold a Public Hearing to consider Tentative Parcel Map PR 06-0236, a parcel map application filed by Craig Smith Architects on behalf of Legacy Park Partners, LLC, to subdivide an existing 12,585 square foot R3 lot into four parcels. One new house would be constructed on each lot. The site is located at 2225 Park Street.

This hearing will take place in the City Hall/Library Conference Room, 1000 Spring Street, Paso Robles, California, at the hour of 7:30 PM on Tuesday, February 27, 2007, at which time all interested parties may appear and be heard.

This application is Categorically Exempt from environmental review per Section 15315 of the State's Guidelines to Implement the California Environmental Quality Act (CEQA).

Comments on the proposed project may be mailed to the Community Development Department, 1000 Spring Street, Paso Robles, CA 93446 provided that such comments are received prior to the time of the hearing. Should you have any questions regarding this application, please call Darren Nash at (805) 237-3970.

The proposed Tentative Parcel Map PR 06-0236 will be available for review at the Community Development Department, 1000 Spring Street, Paso Robles, CA 93446, on the Thursday before the scheduled date of this hearing.

If you challenge the tentative parcel map application in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

Darren R. Nash, Associate Planner
February 14, 2007

6537999

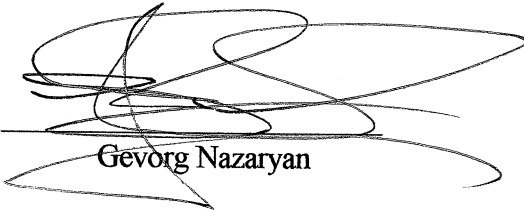
**AFFIDAVIT
OF MAIL NOTICES**

PLANNING COMMISSION/CITY COUNCIL PROJECT NOTICING

I, Gevorg Nazaryan, employee of the City of El Paso de Robles, California, do hereby certify that the mail notices have been processed as required for Parcel Map PR 06-0236, A request to subdivide an existing 12,585 square foot R3 lot into four parcels, one new house would be constructed on each lot. (Applicant: Craig Smith Architects on behalf of Legacy Park Partners, LLC) APN: 008-165-009, on this 13th day of February, 2007.

City of El Paso de Robles
Community Development Department
Planning Division

Signed: _____



Gevorg Nazaryan

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